

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
MARCH 25, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.
- (2) Appointment with Jerret Smith to consider a request to submit a new zoning application for a Specific Use Permit (SUP) in accordance with Section 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

## (III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (3) Approval of Minutes for the March 11, 2025 Planning and Zoning Commission meeting.

### (4) **P2025-008 (BETHANY ROSS)**

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [*Ordinance No. 24-02*] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [*FM-740*] and Becky Lane, and take any action necessary.

### (5) **P2025-010 (BETHANY ROSS)**

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [*FM-549*], and take any action necessary.

## (V) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

### (6) **MIS2025-005 (BETHANY ROSS)**

Discuss and consider a request by Dnyanada Nevgi of SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Miscellaneous Request for an *Exception* to the *Screening Requirements for Residential Adjacency* for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 E. Ralph Hall Parkway, and take any action necessary.

(7) **MIS2025-006 (HENRY LEE)**

Discuss and consider a request by Daniel Melendez for the approval of a *Miscellaneous Request* for an *Exception* to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*], addressed as 304 Shamrock Circle, and take any action necessary.

- (8) Hold an election to elect a Chairman and (*if necessary*) Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), and take any action necessary.

(VI) **DISCUSSION ITEMS**

*These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is April 15, 2025.*

(9) **Z2025-012 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

(10) **Z2025-013 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

(11) **Z2025-014 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

(12) **Z2025-015 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

(13) **Z2025-016 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [*Ordinance No. 19-26*] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

(14) **SP2025-011 (HENRY LEE)**

Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a *Site Plan* for the expansion of an existing *Mini-Warehouse Facility* on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

(15) **SP2025-012 (HENRY LEE)**

Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a *Site Plan* for a *Private Indoor Gun Range* on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [*Ordinance No. 24-30*] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [*SH-205*] and Mims Road, and take any action necessary.

- (16) *Director's Report* of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2025-004: Preliminary Plat for Phases 1 & 2 of the Juniper Subdivision (**APPROVED**)
- P2025-005: Master Plat for the Juniper Subdivision (**APPROVED**)
- MIS2025-002: Appeal of a Planning and Zoning Commission Decision on an *Exception* to the *Fence Standards* for 1511 Orion Drive (**DENIED**)
- MIS2025-004: Miscellaneous Request for an *Exception* to the *Utility Placement Standards* for the REDC (**POSTPONED TO APRIL 21, 2025**)
- Z2025-004: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and *Agricultural Accessory Building/Barn* for 2201 E. FM-550 (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-005: Zoning Change (AG to PD) for the Erwin Farms Subdivision (PD-46) (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-006: Zoning Change (AG to GR) for the SEC of John King Boulevard and E. Quail Run Road (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-007: Specific Use Permit (SUP) for a *House of Worship* for 917 N. Goliad Street (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-008: Zoning Change (AG to GR) for the SEC of John King Boulevard and FM-552 (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-009: Specific Use Permit (SUP) for a *Short-Term Rental* at 1827 Mystic Street (**DENIED**)
- Z2025-010: Amendment to Planned Development District 50 (PD-50) (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-011: PD Development Plan for Townhomes along Glen Hill Way (**POSTPONED TO APRIL 21, 2025**)

## (VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 21, 2025 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**FROM:** Jerret Smith  
**DATE:** March 25, 2025  
**SUBJECT:** Reapplication Request for *Specific Use Permit (SUP)* at 704 S. Alamo Road

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On November 15, 2024, the applicant -- *Jerret Smith* -- submitted an application for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a new single-family home on a 0.1960-acre parcel of land. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the *Specific Use Permit (SUP)* by a vote of 6-0, with Commissioner Conway absent; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0, with Council Member McCallum absent. The stated reason for the denial was due to the applicant not being present at the meeting. Since the motion to deny passed and no subsequent motion was made, the motion is considered to be a denial with prejudice [*Subsection 02.05(B)(2); Article 11; UDC*].

According to Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) request for a zoning change, *Specific Use Permit (SUP)*, or text amendment which has previously been denied with prejudice by the City Council may be resubmitted within one (1) year if there is: [1] An actual change in conditions relating to the lot or tract of land -- *or any portion thereof* -- or any surrounding properties; or, [2] The new request is for a more restrictive or less intense land use than the previously denied request." Under this circumstance the Director of Planning and Zoning is to review the request and report to the Planning and Zoning Commission on whether or not such request meets the aforementioned criteria, and the Planning and Zoning Commission is to either grant or deny the request for reapplication.

On March 11, 2024, the applicant submitted a letter to the Director of Planning and Zoning requesting to resubmit an application, incorporating revised building elevations and a new plot plan. The proposed revisions are intended to ensure compliance with roof pitch and building setback requirements as outlined in Article 05, *District Development Standards*, of the Unified Development Code (UDC). Additionally, the applicant has confirmed that they or a designated representative will attend all future meetings, addressing a key factor that contributed to the initial denial of the application. Based on the applicant's proposed changes stated above, staff has determined that the applicant's request is a substantial enough change to warrant bringing the request forward to the Planning and Zoning Commission; however, the Planning and Zoning Commission is being tasked with determining if the applicant should be permitted to refile an application for the *Specific Use Permit (SUP)*. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the March 25, 2025 meeting.

To The City of Rockwall Planning and Zoning,

Jerret and Alicia Smith would like to submit a "Change in Condition" for:

704 S Alamo

Rockwall TX 75032

We will be making changes to our plan elevations and set back lines and willing to meet your requirements to be considered for the change in condition.

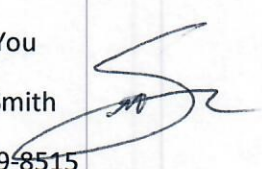
For New Single Family Residents.

We are asking for a resubmit with these condition and that a representative or the applicant will be present at all the meetings

Thank You

Jerret Smith

469-409-8515

A handwritten signature in black ink, appearing to be "Jerret Smith", is written over the printed name and phone number.

# MINUTES



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
MARCH 11, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT  
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR  
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM  
5 ON THE CITY'S WEBSITE.  
6

## 7 I. CALL TO ORDER

8  
9 **Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Kyle  
10 Thompson, Jay Odom and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee,  
11 Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City  
12 Engineer Jonathan Browning and Civil Engineer Madelyn price.**  
13

## 14 II. APPOINTMENTS

15  
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
17 the agenda requiring architectural review.  
18

19 **Director of Planning and Zoning Ryan Miler advised staff would provide ARB recommendations when staff presents the case.**  
20

## 21 III. OPEN FORUM

22  
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the  
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN  
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings  
26 Act.*  
27

28 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.**  
29

30 **Ryan Joyce**  
31 **767 Justin Road**  
32 **Rockwall, TX 75087**  
33

34 **Mr. Joyce came forward and announced that on April 4<sup>th</sup> and 5<sup>th</sup> there will be a Rockwall County 4H Youth Livestock Show and Sale at Tate Farms.**  
35

36 **Jeff Baron**  
37 **2324 Saddlebrook Lane**  
38 **Rockwall, TX 75032**  
39

40 **Mr. Baron came forward and explained he didn't see any upcoming projects in regards to parks and didn't see any right turn lanes and left turn lanes  
41 to enter and exit the new subdivisions.**  
42

43 **Bob Wacker**  
44 **309 Featherstone Drive**  
45 **Rockwall, TX 75087**  
46

47 **Mr. Wacker expressed concerns how City Council reviews the 380 agreements in executive session. He claimed the 380 agreements are not disclosed  
48 to the public, and the public is not made aware of these matters.**  
49

50 **Chairman Deckard asked if anyone who wished to speak to come forward at this time; there being no one indicating such Chairman Deckard closed  
51 the open forum.**  
52

## 53 IV. CONSENT AGENDA

54  
55 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)  
56 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
57

58 **2. Approval of Minutes for the February 25, 2025 Planning and Zoning Commission meeting.**  
59

### 60 **3. P2025-004 (HENRY LEE)**

61 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Developments (US), Inc. for the approval of a  
62 Preliminary Plat for Phase 1 & 2 of the Juniper Subdivision consisting of 366 single-family residential lots on a 195.685-acre tract of land identified as part of  
63 Tract 3 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; and Tract 7 of the W. H. Baird Survey, Abstract No. 25 [20.3942-acres], City of Rockwall,  
64 Rockwall County, Texas, zoned Planned Development District 103 (PD-103) for Single-Family 10 (SF-10) and limited General Retail (GR) District land uses,

65 situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad  
66 Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.  
67

68 **4. P2025-005 (HENRY LEE)**

69 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Developments (US), Inc. for the approval of a  
70 Master Plat for the Juniper Subdivision consisting of 870 single-family residential lots on a 526.778-acre tract of land identified as Tracts 3 & 3-1 of the A.  
71 Johnson Survey, Abstract No. 123 [355.146-acres]; Tract 7 of the W. H. Baird Survey, Abstract No. 25 [20.3942-acres]; and Tracts 3 & 4 of the J. R. Johnson  
72 Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Planned Development District 103 (PD-103) for Single-Family 10  
73 (SF-10) and limited General Retail (GR) District land uses, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District,  
74 generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-  
75 205], and take any action necessary.  
76

77 **Commissioner Conway made a motion to approve the Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 7-  
78 0.**  
79

80 **V. PUBLIC HEARING ITEMS**  
81

82 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please  
83 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning  
84 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments  
85 to three (3) minutes out of respect for the time of other citizens.*  
86

87 **5. Z2025-004 (HENRY LEE)**

88 Hold a public hearing to discuss and consider a request by Corey Smith on behalf of Destiny Smith for the approval of a Specific Use Permit (SUP) allowing a  
89 Guest Quarters/Secondary Living Unit and an Agricultural Accessory Building/Barn on a 10.00-acre tract of land identified as Tract 1-5 of the J. W. Pitman  
90 Survey, Abstract No. 181, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2201 E. FM-550, and take any action  
91 necessary.  
92

93 **Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is proposing a Specific Use Permit (SUP) for  
94 an agricultural accessory structure and a guest quarters/ secondary living unit. The proposal was initially presented through an internal case to staff.  
95 Since the accessory structure has been built they had to pay the non-compliance structure fee when they submitted for the SUP since it was built  
96 without a permit. There are two components to this case. It being a guest quarters and an agricultural accessory building. In regard to the agricultural  
97 accessory building that portion of the structure is 3,225 SF and the guest quarters/ secondary living unit is 960 SF. When looking at the Unified  
98 Development Code (UDC) it is within the requirements in terms of the size. The other component to look at would be the roof pitch and the roof pitch  
99 minimum is a 3:12. The primary portion of the building is a 4:12 but the covered parking area is 1:12. Staff is working through comments with the  
100 applicant for a site an of the property showing where its located. Staff mailed out four (4) notices to property owners and occupants.**  
101

102 **Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating  
103 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.**  
104

105 **Vice-Chairman Womble made a motion to approve Z2025-004. Commissioner Hustings seconded the motion which passed by a vote of 7-0.**  
106

107 **6. Z2025-005 (BETHANY ROSS)**

108 Hold a public hearing to discuss and consider a request by Adam Buczek of the Skorburg Company on behalf of Dr. Karl Erwin of the Estate of Karl W. Erwin  
109 for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a  
110 98.40-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Agricultural  
111 (AG) District, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action  
112 necessary.  
113

114 **Director of Planning & Zoning Ryan Miller provided a brief summary in regard to the applicants request. The applicant is requesting to rezone the  
115 property to establish a planned development district for a 123-lot single-family subdivision. Now the proposed subdivision will consist of three lot  
116 sizes. This being 100 lots measuring a minimum of 100 x 120 or 12,00SF. 17 lots measuring a minimum of 120 x 230 or a minimum of 3 quarters of  
117 an acre. Six (6) lots measuring a minimum of 120 x 275 or 1acre in size. This equates to a density of 1.25 dwelling units per acre. In addition, the  
118 minimum dwelling unit size for all lots will be a minimum of 2800 SF and the lot product will be consistent with the general residential district  
119 standards. It will be 100% masonry with previsions that allow up to 50% Cementous fiberboard and the PD ordinance will incorporate the City's anti-  
120 monotony standards. The concept plan also shows previsions of 33.19 acres of open space that consist of 17.15 acres of private open space and  
121 16.04 acres of floodplain this equates to a total of 25.58%. The applicant is requesting to utilize OSSF (on site sewage facilities) on the 3 quarters of  
122 an acre and 1 acre lots. The City has granted OSSF in the past for lots that were 1 acre or greater. Another aspect that would a discretionary decision  
123 is the size of the streets that are adjacent to the private open space. As of now staff has received eight (8) notices in return in opposition and one (1)  
124 notice returned in favor. Staff should note only one of the notices in opposition was inside the 500-foot buffer.**  
125

126 **Commissioner Hustings asked about the size in regards to the septic system.**  
127

128 **Director of Planning and Zoning Ryan Miller explained it was an inter-local agreement with the county.**  
129

130 **Adam Buczeck  
131 8214 Wechester Drive  
132 Dallas, TX 75225**

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Mr. Buczek came forward and briefly went over the comprehensive plan and explained the Comprehensive plan designation. Also went over lot mix density. There will be incorporation 8-foot-wide sidewalk trail in the subdivision and will be adding a full loop to meet for amenity center. Also explained how they will have a breezy hill pavilion and will incorporate two (2) detention ponds. There will also be 2 linear parking spaces for extra space.

Commissioner Thompson asked about the 3 quarter and 1 acre lots with having a septic system with a lot that small if they have to draw half an acre for the system.

Director of Engineering explained they wouldn't be able to discharge it into a creek or stream. It would have to go through their yard and go through a certain amount of space between the filed. It would just depend as to where they would incorporate it.

Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time.

**Jeff Baron**  
2324 Saddlebrook Lane  
Rockwall, TX 75032

*Mr. Barron explained he did not receive a notice and explained he lives on the other side of 1141.*

*Director of Planning and Zoning Ryan Miller explained that property owners and occupants within 500 feet of the subject property and also notify all HOA's that participate in the Neighborhood Notification Program within 1500 Feet.*

**Bob Wacker**  
309 Featherstone  
Rockwall, TX 75087

*Mr. Wacker came forward and asked if the OSSF will have its own island or if they'll be surrounded by sewers.*

**Stan Jeffus**  
2606 Cypress Drive  
Rockwall, TX 75087

*Mr. Jeffus came forward and asked why they won't add the 1 acre lots to the sewer lines.*

Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

Commissioner Hagaman explained that City of Rockwall does not have a water issue.

Commissioner Husting explained that the project looks better then what was first proposed.

*Commissioner Conway made a motion to approve Z2025-005. Chairman Deckard seconded the motion which passed by a vote of 7-0.*

**7. Z2025-006 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Lisa Brooks and Rene'e Holland of Makeway, LLC for the approval of a Zoning Change from an Agricultural (AG) District to a General Retail (GR) District for a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. In 2021 the City Council denied a zoning change for this property and it was to change from an Agricultural district to a Neighborhood service district to establish a strip retail center. The applicant is requesting to rezone the subject property from an agricultural to a general retail district. They intent to establish a daycare facility. When looking at the future land use map it is designated for low density residential land uses that meaning should the proposed zoning change be approved it would require to amend the plan and the future land use map to reclassify the property to a commercial (retail designation. Staff should note the property does not seem to be suitable for residential development as its currently situated on a major road way. In addition, the comprehensive plan does support limited commercial uses adjacent to residential districts provided that they serve the immediate residential area. Incorporate buffering and transitional design to minimize residential impact and limit cut through traffic. Staff has also provided the land uses permitted in the neighborhood services district and is a less intense district then the general retail district. It would be more appropriate zoning considering residential adjacency to the north and east. However, this is a discretionary decision for the City Council pending recommendation from the Planning and Zoning Commission.

**Craig Brooks**  
1215 Ridge Road West  
Rockwall, TX 75087

Mr. Brooks came forward and provided additional details in regards to the request.



201 Commissioner Odom asked the way this case is being presented right now will this case fit in neighborhood services.

202

203 Director of Planning and Zoning Ryan Miller explained that it would fit in neighborhood services but they would need to get a specific use permit  
204 (SUP) since they are proposing a building larger than 5,000SF.

205

206 Scott Roberts  
207 1020 Creekwood Drive  
208 Garland, TX 75044

209

210 Mr. Roberts came forward and provided additional details in regards to the applicants request.

211

212 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time. There being no one indicating  
213 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

214

215 Chairman made a motion to approve Z2025-006 as a Neighborhood Service. Vice-Chairman Womble seconded the motion which passed by a vote  
216 of 7-0.

217

218 8. Z2025-007 (HENRY LEE)

219 Hold a public hearing to discuss and consider a request by Tzemach Moshe Kalmenson for the approval of a *Specific Use Permit (SUP)* allowing a *Church/House*  
220 *of Worship* on a 0.5010-acre tract of land identified as Block 29 of the Gardner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development  
221 District 50 (PD-50) [*Ordinance No. 25-07*], situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 917 N. Goliad Street, and take  
222 any action necessary.

223

224 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant previously submitted during the last cycle to  
225 amend planned development district 50 (PD-50) to allow a church/ house of worship through a specific use permit (SUP). They are currently seeking  
226 approval of a SUP to allow a church/house of worship on the subject property. They submitted a concept plan indicating they are using the existing  
227 building. Staff mailed out notices to property owners and occupants within 500 foot of the subject property. At this time, there had not been any  
228 notices in regards to the applicants request.

229

230 Tzemach Moshe Kalmenson  
231 19510 Hidden Valley  
232 Rockwall, TX 75087

233

234 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating  
235 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

236

237 Vice-Chairman Womble made a motion to approve Z2025-007. Commissioner Conway seconded the motion which passed by a vote of 7-0.

238

239 9. Z2025-008 (BETHANY ROSS)

240 Hold a public hearing to discuss and consider a request by Pat Atkins of Saddle Star Land Development on behalf of Betty Thompson for the approval of a  
241 *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 6.511-acre identified as Tract 1-1 of the P. B. Harrison Survey, Abstract  
242 No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located  
243 at the southeast corner of the intersection of John King Boulevard and FM-552, and take any action necessary.

244

245 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting to rezone the  
246 subject property an Agricultural (AG) district to a General Retail (GR) district. According to the Unified Development Code (UDC) the General Retail  
247 District is a zoning district intended to provide limited retail and service land uses. That would include most type of retail an office activity and are  
248 typically located on or at the major intersections of roadways. When looking at the future land use map it is designated for low density residential  
249 land uses. Once again if this were to get approved this would change the future land use map to reclassify the property to a commercial retail  
250 designation. In this case the subject property does have a large amount of flood plane that traverses the property. It leaves about 1.9-acre portion of  
251 high and dry land. In addition, the subject property has frontage on two major roadways. However, due to the limited buildable area and residential  
252 adjacency the general retail district may not be the most appropriate zoning classification. The reason for that is the residential adjacency and the  
253 limited 1.9 acres of high and dry land. This is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning  
254 Commission. Staff mailed out eight (8) notices to property owners and occupants and as of today staff received four (4) notices in opposition of this  
255 request. The four (4) notices in return were outside the 500-foot buffer.

256

257 Commissioner Hagaman asked what property is diagonal from subject property.

258

259 Director of Planning and Zoning Ryan Miller explained that property is currently zoned for a Planned Development District for a Single-Family  
260 subdivision. Explained there is a lot of floodplain that runs through the center of the property.

261

262 Pat Atkins  
263 614 Sumer Oaks Drive  
264 Rockwall, TX 75087

265

266 Mr. Atkins came forward and provided additional details in regards to his request.

267

268 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

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336

Mike McElroy  
605 Limmerhill Drive  
Rockwall, TX 75087

Mr. McElroy came forward and asked what is the applicant's intent to add on the subject property.

Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

Mr. Atkins came forward and explained they are currently working with the developers but nothing has been identified.

Director of Planning and Zoning Ryan Miller explained that the reason they are offering the Neighborhood services. The applicant mentioned the property across the street to the limited retail that is on the property and stated that they wanted the same consideration. However, that is in a Planned Development (PD) district and many of the uses that were removed from that general retail district align better with the neighborhood services.

Commissioner Thompson mentioned Neighborhood services would be a better idea for the subject property.

Commissioner Hustings made a motion to approve Z2025-008 as Neighborhood Services. Chairman Deckard seconded the motion which passed by a vote of 6-1 with Commissioner Hagaman dissenting.

10. Z2025-009 (ANGELICA GUEVARA)

Hold a public hearing to discuss and consider a request by Caprice Michelle for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1237-acre parcel of land identified as Lot 1, Block B, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1827 Mystic Street, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a Specific Use Permit (SUP) for the purpose of allowing a Short-Term Rental (non-owner occupied). It is located within 1,000 feet of two (2) existing non-owner-occupied STR. In this case, only one non-owner occupied STR applied for the STR permit within the three (3) month grace period. The other non-owner occupied STR received approval for a SUP to allow it to continue as a STR. A specific Sue Permit (SUP) is a discretionary decision for the City Council pending recommendation from Planning and Zoning Commission.

Caprice Michelle  
240 Willowcrest  
Rockwall, TX 75087

Mrs. Michelle came forward and provided additional details in regards to her request.

Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

Melba Jeffus  
2606 Cypress Drive  
Rockwall, TX 75087

Mrs. Jeffus came forward and stated the City did a great job in regards to the Short-Term Rental ordinance and is not in support of this request.

Mike McElroy  
605 Limmerhill Drive  
Rockwall, TX 75087

Mr. McElroy came forward and expressed he was opposed.

Mary Block  
1796 Mystic Street  
Rockwall, TX 75087

Mrs. Bock came forward and expressed her opposition in regards to the request.

Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.

Commissioner Thompson made a motion to deny Z2025-009. Vice-Chairman Womble seconded the motion which was denied by a vote of 7-0.

11. Z2025-010 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Price Pointer of TCB Construction on behalf of Jay Odom for the approval of a Zoning Change amending Planned Development District 50 (PD-50) [Ordinance No. 25-07] to incorporate an additional 1.65-acre parcel of land within the district being a 22.19-acre tract of land situated within the S. S. McCurry Survey, Abstract No. 146 and B. F. Boydston Survey, Abstract No. 14, City of Rockwall, Rockwall County,

337 Texas, zoned: [1] Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, [2] Single-Family 7 (SF-7) District, and [3] Downtown  
338 (DT) District, situated within the North Goliad Corridor Overlay (NGC OV) District and the Old Town Rockwall (OTR) Historic District, generally located along N.  
339 Goliad Street [SH-205], north of Olive Street and south of Live Oak Street, and take any action necessary.  
340

341 **Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. The purpose to this request is to change**  
342 **the zoning to allow the future development residential scaled office building. The proposed amendment is consistent with the adjacent live work**  
343 **designation. That would be for Planned Development District 50 (PD-50) . If this were to get approved it would change the designation to live work.**  
344 **It would allow single-family homes to be converted to offices and will also allow for development of new office buildings and single-family homes.**  
345

346 **Commissioner Hgaman asked if the properties next were residential or if they were commercial.**  
347

348 **Price Pointer**  
349 **906 N Goliad**  
350 **Rockwall, TX 75087**  
351

352 **Mr. Pointer came forward and provided additional details in regards to his request.**  
353

354 **Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.**  
355

356 **Jacquelyn Nicholson**  
357 **405 N. Fannin Street**  
358 **Rockwall, TX 750187**  
359

360 **Mrs. Nicholson came forward and expressed she was in favor of the applicants request.**  
361

362 **Kathy Seregow**  
363 **503 N Fannin Street**  
364 **Rockwall, TX 75087**  
365

366 **Mrs. Seregow came forward and explained that it would be more traffic and stated she was opposed.**  
367

368 **Jim Seregow**  
369 **503 N Fannin Street**  
370 **Rockwall, TX 75087**  
371

372 **Mr. Seregow came forward and stated he was opposed to this request.**  
373

374 **Carol Crow**  
375 **504 Williams Street**  
376 **Rockwall, TX 75087**  
377

378 **Mrs. Crow came forward and explained this change would occur and is in favor of the request and believes it would be appropriate for the area.**  
379

380 **Chairman Deckard asked if anyone else who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard**  
381 **closed the public hearing and brought the item back to Commission for discussion or action.**  
382

383 **Commissioner Hagaman made a motion to approve Z2025-010. Commissioner Thompson seconded the motion which passed by a vote of 6-0.**  
384

385 **12. Z2025-011 (HENRY LEE)**

386 **Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio on behalf of Matt Zahm of ZAPA Investments, LLC for the approval**  
387 **of a *PD Development Plan* for eight (8) *Townhomes* on a 0.87-acre parcel of land identified as Lot 3, Block A, Harbor Hills Addition, City of Rockwall, Rockwall**  
388 **County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* and the *Residential Subdistrict*, generally located on the**  
389 **northeast side of Glen Hill Way, northwest of the intersection of Glen Hill Way and Ridge Road [FM-740], and take any action necessary.**  
390

391 **Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a Planned Development (PD) for**  
392 **townhomes. They will be adding one more unit to the district there it will be eight (8) units. The PD development plan complies with most of the**  
393 **standards of the planned development district. However, staff did outline some of the non-conformities of the request. A few of them being the**  
394 **setbacks, 65% of the façade must be at the build line however, since it is on a curve street it does make it difficult to design and minimum lot sizes.**  
395 **In addition to the UDC it does not meet the anti-monotony requirements.**  
396

397 **Matt Zahm**  
398 **1412 Hubbard Drive**  
399 **Heath, TX 75032**  
400

401 **Mr. Zahm came forward and provided additional details in regards to his request.**  
402

403 **Commissioner Conway asked how he would address the monotony issue.**  
404

405 Chairman Deckard asked if anyone who wished to speak to come forward at this time. There being no one indicating such, Chairman Deckard closed  
406 the public hearing and brought the item back to Commission for discussion or action.

407  
408 Chairman Deckard made a motion to table Z2025-011 for 4 weeks being on April 15<sup>th</sup>. Commissioner Conway seconded which was tabled by a vote  
409 of 7-0.

410  
411 VI. ACTION ITEMS

412  
413 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
414 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
415

416 13. SP2025-007 (HENRY LEE)  
417 Discuss and consider a request by Abed Ajak of Abed Ajak/Ajak Realty, LLC for the approval of an Amended Site Plan for an existing *General Retail Building*  
418 on a 0.48-acre tract of land identified as Tract 34 of the J. T. Lewis Survey, Abstract 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)  
419 District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1407 & 1409 S. Goliad Street, and take any action necessary.

420  
421 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. This case was referred to staff from Building Inspections  
422 department since work had begun without a permit and they did have to pay the non-compliance structure fee for this case. They are requesting an  
423 amended site plan for the property. Essentially, they are adding new materials, adding a parapet. They are requesting variances to paint the back  
424 side of the parapet since they are not wanting to wrap the stucco around the back of the parapet. They are also not having the parapet be an enclosed  
425 system. The Architectural Review Board did look at the case and did recommend approval with the condition that in the south elevation they are  
426 wanting the stone to continue to where the parapet ends and on the rendering on the left they are wanting the stone to continue to wrap.

427  
428 Vice-Chairman womble asked if there is not a four-sided architecture in the area.

429  
430 Robin Roberts  
431 Lavon TX 75166  
432

433 Mr. Roberts came forward and expressed he agreed with ARB recommendations.

434  
435 Chairman Deckard made a motion to approve SP2025-007 with ARB recommendation and to add stone on the south and north back to ARB  
436 recommendation. Commissioner Odom seconded the motion which passed by a vote of 7-0.  
437

438 14. SP2025-008 (BETHANY ROSS)  
439 Discuss and consider a request by Nicholas Grinnan on behalf of Jeff Grinnan for the approval of an Amended Site Plan for an existing *Office Building* on a  
440 0.9040-acre tract of land identified as Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within  
441 the SH-66 Overlay (SH-66 OV) District, addressed as 401 W. Rusk Street, and take any action necessary.

442  
443 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. In the previous meeting ARB had asked  
444 them to remove the thin brick they had at the top of the building. The applicant has conformed to the changes. The applicant is requesting two (2)  
445 variances. They are requesting to paint the back sides of the parapets. The other variance is to the downtown district in regards to the color of the  
446 building. ARB did look at this and ultimately liked the color scheme the applicant had provided and recommended approval. They will be also adding  
447 additional landscape.

448  
449 Chairman Deckard mad e a motion to approve SP2025-008. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.  
450

451 VII. DISCUSSION ITEMS

452  
453 15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).  
454

- 455 • MIS2025-004: Exception to the Utility Requirements for the REDC (TABLED TO THE MARCH 17, 2025)
- 456 • P2025-003: Replat for Lots 4 & 5, Block A, DuWest Addition (APPROVED)
- 457 • P2025-006: Replat for Lots 2, 3 & 4, Block B and Lot 2, Block C, Rockwall Commercial Addition (APPROVED)
- 458 • P2025-007: Final Plat for Lot 1, Block 1, Flexspace Center Rockwall Addition (APPROVED)
- 459 • Z2025-002: Specific Use Permit (SUP) for a *General Retail Store* and *Limited Service Restaurant* at 907 N. Goliad Street (2<sup>ND</sup> READING; APPROVED)
- 460 • Z2025-003: Amendment to Planned Development District 46 (PD-46) (2<sup>ND</sup> READING; APPROVED)

461  
462 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.  
463

464 VIII. ADJOURNMENT

465  
466 Chairman Deckard adjourned the meeting at 8:41PM

467  
468 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
469 \_\_\_\_\_, 2025.

470  
471 \_\_\_\_\_  
472 Derek Deckard, Chairman

473  
474  
475  
476

Attest:  

---

Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** March 25, 2025  
**APPLICANT:** Phil Wagner; *Rockwall Economic Development Corporation (REDC)*  
**CASE NUMBER:** P2025-008; *Preliminary Plat for Lot 1, Block A, Ridge Road Addition*

---

### SUMMARY

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [*Ordinance No. 24-02*] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [*FM-740*] and Becky Lane, and take any action necessary.

### PLAT INFORMATION

- Purpose. The purpose of the applicant's request is to Preliminary Plat a 12.1462-acre tract of land (*i.e. Lot 1, Block A, Ridge Road Addition*) in order to lay out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subdivision.
- Background. The City Council approved *Ordinance No. 60-02* [*Case No. A1960-002*], annexing the subject property into the City of Rockwall on September 5, 1960. On January 27, 1972, the City Council approved Planned Development District 4 (PD-4) [*Ordinance No. 72-03*] allowing Neighborhood Services (NS) District and General Retail (GR) District land uses. In addition, the Planned Development District allowed *Shopping Center* land uses on the subject property. On June 18, 2001, the City Council approved a City initiated amendment to Planned Development District 4 (PD-4) [*Case No. PZ2001-053-01*] removing Neighborhood Services (NS) District land uses from the base zoning. This changed the Planned Development District to only allow General Retail (GR) District land uses. On January 2, 2024, the City Council approved a zoning change to amend Planned Development District 4 (PD-4) [*Case No. Z2023-053*] to facilitate the development of multi-story *Office Buildings* on the subject property. The subject property has remained vacant since the time of annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the Ridge Road Addition staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: P2025-008  
PROJECT NAME: Preliminary Plat for 1661 Ridge Road  
SITE ADDRESS/LOCATIONS: 1661 RIDGE RD

CASE CAPTION: Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located east of the intersection of Ridge Road [FM-740] and Becky Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	03/19/2025	Approved w/ Comments

03/19/2025: P2025-008: Preliminary Plat for Lot 1, Block A, Ridge Road Addition  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lot 1, Block A, Ridge Road Addition being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) [Ordinance No. 24-02] for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, and generally located east of the intersection of Ridge Road [FM-740] and Becky Lane.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2025-008) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Preliminary Plat  
Lot 1, Block A,  
Ridge Road Addition  
Being  
12.14620-Acres or 529,088.472 SF  
Situated in the  
David Atkins Survey, Abstract No. 1  
City of Rockwall, Rockwall County, Texas

M.5 Provide the following plans: Preliminary Drainage Plan, and Preliminary Utility Plan. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please tie two (2) corners to state plane coordinates. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).



M.8 Indicate all existing and proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Indicate the boundaries of all Wooded Areas or dense tree clusters. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please include the zoning information. In this case, the zoning will be Planned Development District 4 (PD-4). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Please provide all the General Notes listed as required in Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances.

M.12 Please indicate the water source and sewage disposal method. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.13 Please update the City Signature Block to match the Preliminary Plat Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.14 The projected meeting dates for this case are as follows:

Planning and Zoning Public Hearing: March 25, 2025

City Council: April 7, 2025

I.15 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

- 03/20/2025: 1. Two coordinate points required  
2. 10' utility easement included along all street frontages.  
3. Include the applicable general notes on the plat.  
4. Remove contours and all other site features from the plat. Only show property lines and easements.  
5. 10' utility easement included along all street frontages.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved w/ Comments

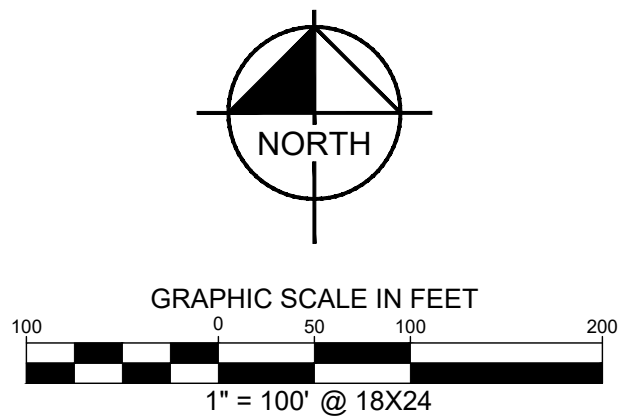
03/17/2025: Add coordinates to two corners. Nad-83 TX State Plane North Central (4202) Grid

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

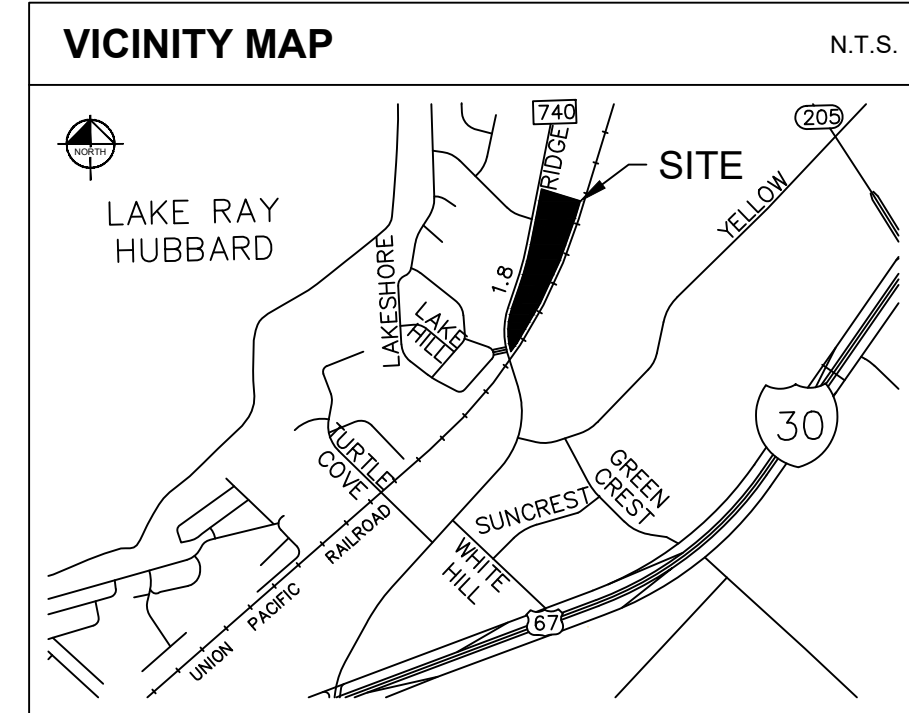
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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No Comments



- LEGEND:**
- P.O.B. = POINT OF BEGINNING
  - IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
  - IRFC = IRON ROD W/CAP FOUND
  - BDF = BRONZE DISK STAMPED "TEXAS DEPARTMENT OF TRANSPORTATION" FOUND
  - VOL./PG. = VOLUME/PAGE
  - O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
  - M.R.R.C.T. = MAP RECORDS, ROCKWALL COUNTY, TEXAS



**LEGEND**

☐	ROOF DRAIN	☒	MAIL BOX
☐	CABLE TV BOX	☐	SANITARY SEWER CLEAN OUT
☐	CABLE TV HANDHOLE	☐	SANITARY SEWER MANHOLE
☐	CABLE TV MANHOLE	☐	SANITARY SEWER MARKER FLAG
☐	CABLE TV MARKER FLAG	☐	SANITARY SEWER MARKER SIGN
☐	CABLE TV MARKER SIGN	☐	SANITARY SEWER SEPTIC TANK
☐	CABLE TV VAULT	☐	SANITARY SEWER VAULT
☐	COMMUNICATIONS BOX	☐	STORM SEWER BOX
☐	COMMUNICATIONS HANDHOLE	☐	STORM SEWER DRAIN
☐	COMMUNICATIONS MANHOLE	☐	STORM SEWER MANHOLE
☐	COMMUNICATIONS MARKER FLAG	☐	STORM SEWER VAULT
☐	COMMUNICATIONS MARKER SIGN	☐	TRAFFIC BARRIER
☐	COMMUNICATIONS VAULT	☐	TRAFFIC BOLLARD
☐	ELEVATION BENCHMARK	☐	TRAFFIC BOX
☐	FIBER OPTIC BOX	☐	CROSS WALK SIGNAL
☐	FIBER OPTIC HANDHOLE	☐	TRAFFIC HANDHOLE
☐	FIBER OPTIC MANHOLE	☐	TRAFFIC MANHOLE
☐	FIBER OPTIC MARKER FLAG	☐	TRAFFIC MARKER SIGN
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☐	GAS METER	☐	UNIDENTIFIED METER
☐	GAS MANHOLE	☐	UNIDENTIFIED MANHOLE
☐	GAS MARKER FLAG	☐	UNIDENTIFIED MARKER FLAG
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☐	GAS TANK	☐	UNIDENTIFIED POLE
☐	GAS VAULT	☐	UNIDENTIFIED TANK
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☐	TELEPHONE MANHOLE	☐	WATER BOX
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☐	PIPELINE MARKER SIGN	☐	WATER METER
☐	ELECTRIC BOX	☐	WATER MANHOLE
☐	FLOOD LIGHT	☐	WATER MARKER FLAG
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☐	ELECTRIC MARKER SIGN	PKS	PK NAIL SET
☐	UTILITY POLE	PKF	PK NAIL FOUND
☐	ELECTRIC TRANSFORMER	IRF	IRON ROD FOUND
☐	ELECTRIC VAULT	IPF	IRON PIPE FOUND
☐	HANDICAPPED PARKING	ADF	ALUMINUM DISK FOUND
☐	SIGN	XS	"X" CUT IN CONCRETE SET
☐	MARQUEE/BILLBOARD	XF	"X" CUT IN CONCRETE FOUND
☐	BORE LOCATION	P.O.B.	POINT OF BEGINNING

- NOTES:**
- No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
  - Property owner(s) shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any.

**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008 this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor

**LINE TABLE**

NO.	BEARING	LENGTH
L1	S72°24'25"E	378.20'
L2	S17°43'18"W	701.65'
L3	N09°42'12"W	60.60'
L4	N06°34'38"W	94.51'
L5	N00°38'06"E	94.67'
L6	N07°14'21"E	94.72'
L7	N13°14'21"E	94.72'
L8	N19°07'43"E	91.23'
L9	N23°07'22"E	103.71'
L10	N27°43'42"E	100.50'
L11	N20°05'18"E	105.14'
L12	N15°02'32"E	103.16'

**LINE TABLE**

NO.	BEARING	LENGTH
L13	N08°35'28"E	100.50'
L14	N1	
L15	N2	
L16	N3	
L17	N4	
L18	N5	
L19	N6	
L20	N7	
L21	N8	
L22	N9	
L23	S5	
L24	S8	

**CURVE TABLE**

NO.	DELTA	RADIUS	LENGTH	CHORD
C1	6°28'33"	3476.10'	392.89'	S20°0'
C2	5°39'00"	2716.45'	267.88'	S26°3'
C3	6°43'18"	4855.10'	569.58'	S33°3'

10' utility easement included along all street frontages.

Include the applicable general notes on the plat.

**GENERAL NOTES (Please add this to any other notes included on the plat.)**

- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

Two coordinate points required

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 CONTACT: PHIL WAGNER  
 PHONE: (972) 772-0025  
 EMAIL: pwagner@rockwalledc.com

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC., INC.  
 203 WEST NASH STREET, SUITE 100  
 TERRELL, TEXAS 75160  
 CONTACT: TODD MARTIN, P.E.  
 PHONE: 972-770-1300  
 EMAIL: Todd.Martin@kimley-horn.com

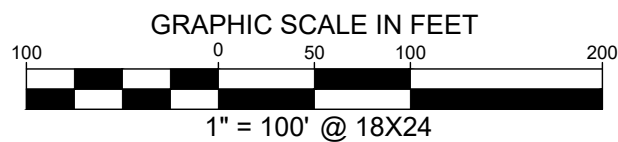
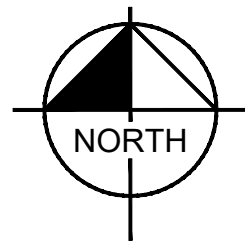
**SURVEYOR:**  
 KIMLEY-HORN AND ASSOC., INC.  
 2500 PACIFIC AVE., SUITE 1100,  
 DALLAS, TEXAS 75226  
 CONTACT: J. ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

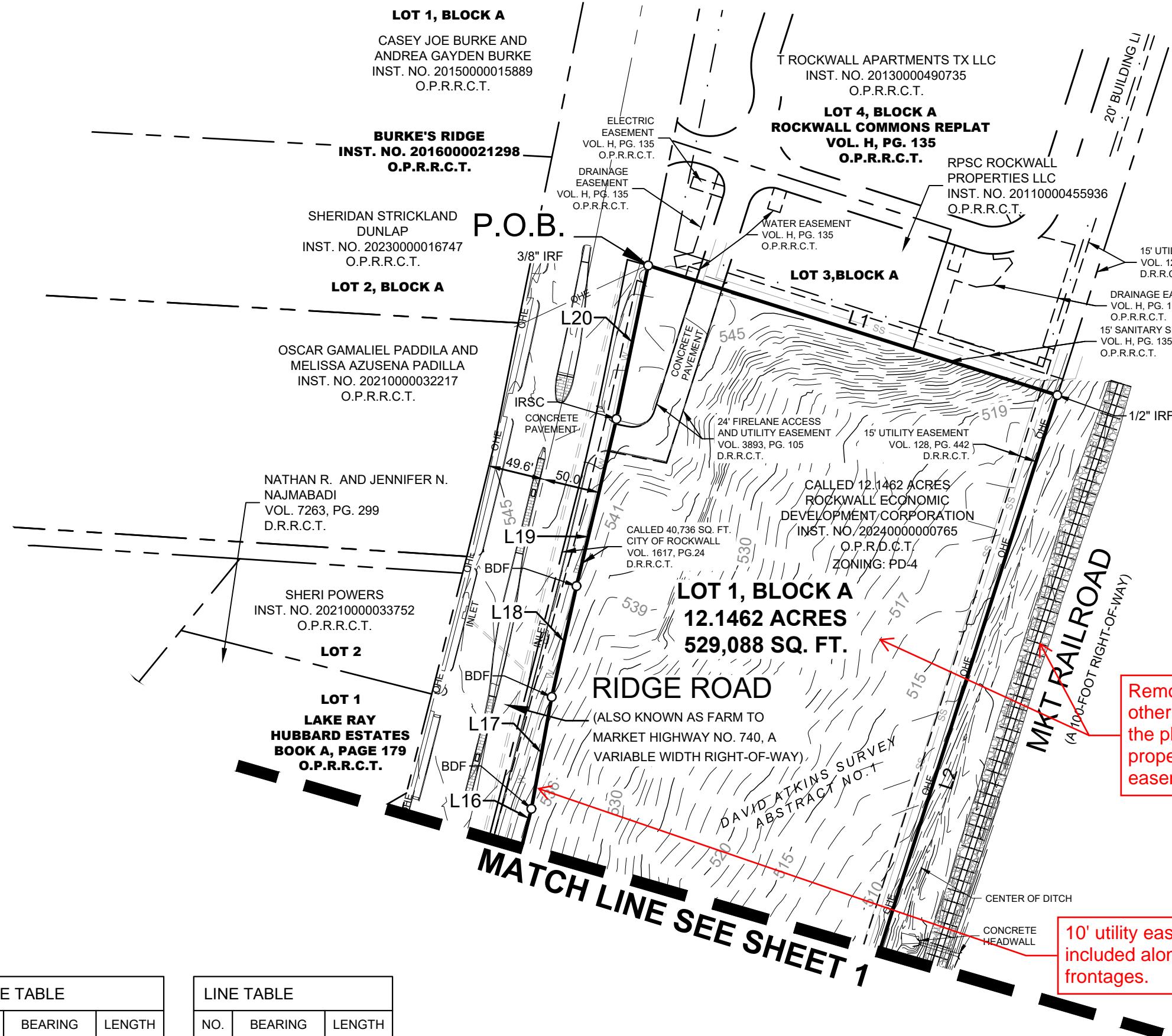
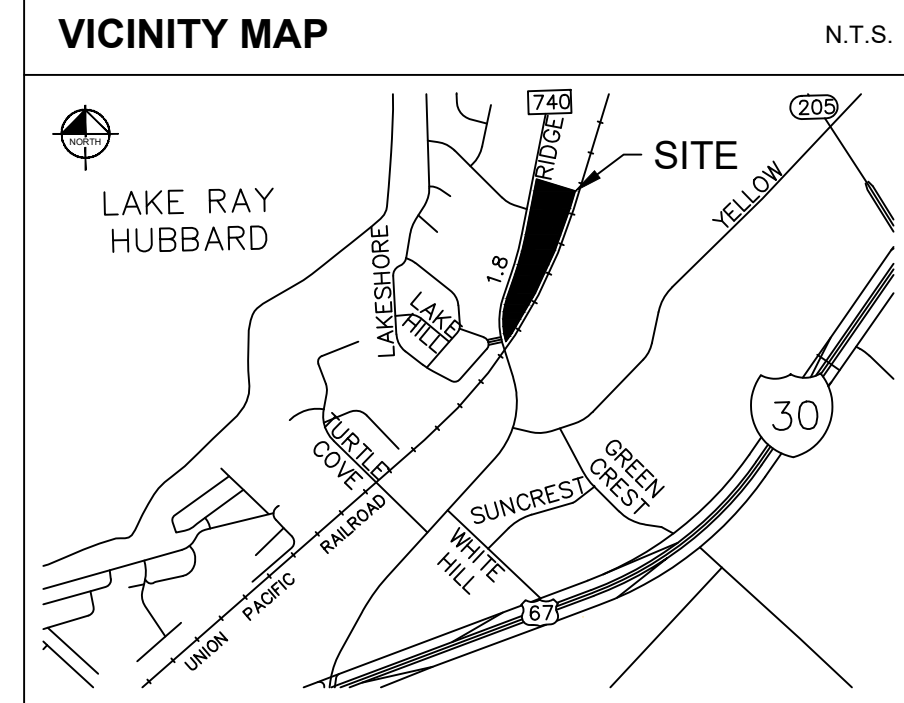
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	LDV	JAD	Mar. 2025	064584403	1 OF 4

DWG NAME: K:\DAL\_SURVEY\064584403-1861 RIDGE ROAD\_PP.DWG PLOTTED BY: VALDEZ, LEONARDO 3/13/2025 5:15 PM LAST SAVED 3/13/2025 2:30 PM



**LEGEND:**

- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRFC = IRON ROD W/CAP FOUND
- BDF = BRONZE DISK STAMPED "TEXAS DEPARTMENT OF TRANSPORTATION" FOUND
- VOL./PG. = VOLUME/PAGE
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. = MAP RECORDS, ROCKWALL COUNTY, TEXAS



Remove contours and all other site features from the plat. Only show property lines and easements.

10' utility easement included along all street frontages.

**NOTES:**

1. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
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☐	SIGN	XS	"X" CUT IN CONCRETE SET
☐	MARQUEE/BILLBOARD	XF	"X" CUT IN CONCRETE FOUND
☐	BORE LOCATION	P.O.B.	POINT OF BEGINNING
☐	FLAG POLE	P.O.C.	POINT OF COMMENCING
☐	GREASE TRAP		

**LINE TYPE LEGEND**

---	BOUNDARY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	BUILDING LINE
---	OVERHEAD UTILITY LINE
---	FENCE
---	CONCRETE PAVEMENT

LINE TABLE		
NO.	BEARING	LENGTH
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L12	N15°02'32"E	103.16'

LINE TABLE		
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L13	N08°35'28"E	100.50'
L14	N14°18'06"E	200.00'
L15	N20°00'44"E	100.50'
L16	N14°18'06"E	100.00'
L17	N10°17'51"E	100.24'
L18	N12°34'47"E	100.14'
L19	N13°26'55"E	151.36'
L20	N11°41'22"E	138.13'
L21	N36°34'45"W	54.87'
L22	N03°03'07"E	62.96'
L23	S58°57'41"W	46.65'
L24	S87°52'28"W	29.73'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	6°28'33"	3476.10'	392.89'	S20°06'12"W	392.68'
C2	5°39'00"	2716.45'	267.88'	S26°34'50"W	267.77'
C3	6°43'18"	4855.10'	569.58'	S33°17'38"W	569.25'

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 CONTACT: PHIL WAGNER  
 PHONE: (972) 772-0025  
 EMAIL: pwagner@rockwalledec.com

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC., INC.  
 203 WEST NASH STREET, SUITE 100  
 TERRELL, TEXAS 75160  
 CONTACT: TODD MARTIN, P.E.  
 PHONE: 972-770-1300  
 EMAIL: Todd.Martin@kimley-horn.com

**SURVEYOR:**  
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 CONTACT: J. ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

**PRELIMINARY PLAT**  
 LOT 1, BLOCK A  
 RIDGE ROAD ADDITION  
 BEING 12.1462 ACRES SITUATED IN THE  
 DAVID ATKINS SURVEY, ABSTRACT NO. 1  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226  
 FIRM # 10115500  
 Tel. No. (469) 718-8849

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	LDV	JAD	Mar. 2025	064584403	2 OF 4



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 1661 Ridge Road, Rockwall, TX 75087

SUBDIVISION David Atkins Survey, Abstract No. 1

LOT N/A

BLOCK N/A

GENERAL LOCATION 1661 Ridge Road, Rockwall, TX 75087

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING PD-4

CURRENT USE Undeveloped

PROPOSED ZONING PD-4

PROPOSED USE Office

ACREAGE 12.15

LOTS [CURRENT] N/A

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Phil Wagner

APPLICANT Phil Wagner

CONTACT PERSON Rockwall EDC

CONTACT PERSON Rockwall EDC

ADDRESS 2610 Observation Trail

ADDRESS 2610 Observation Trail

Suite 104

Suite 104

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE (972) 772-0025

PHONE (972) 772-0025

E-MAIL pwagner@rockwalledc.com

E-MAIL pwagner@rockwalledc.com

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

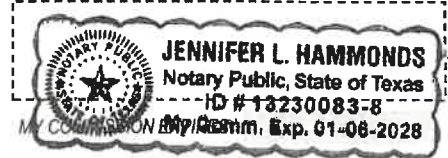
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 382.25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF march, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.\*

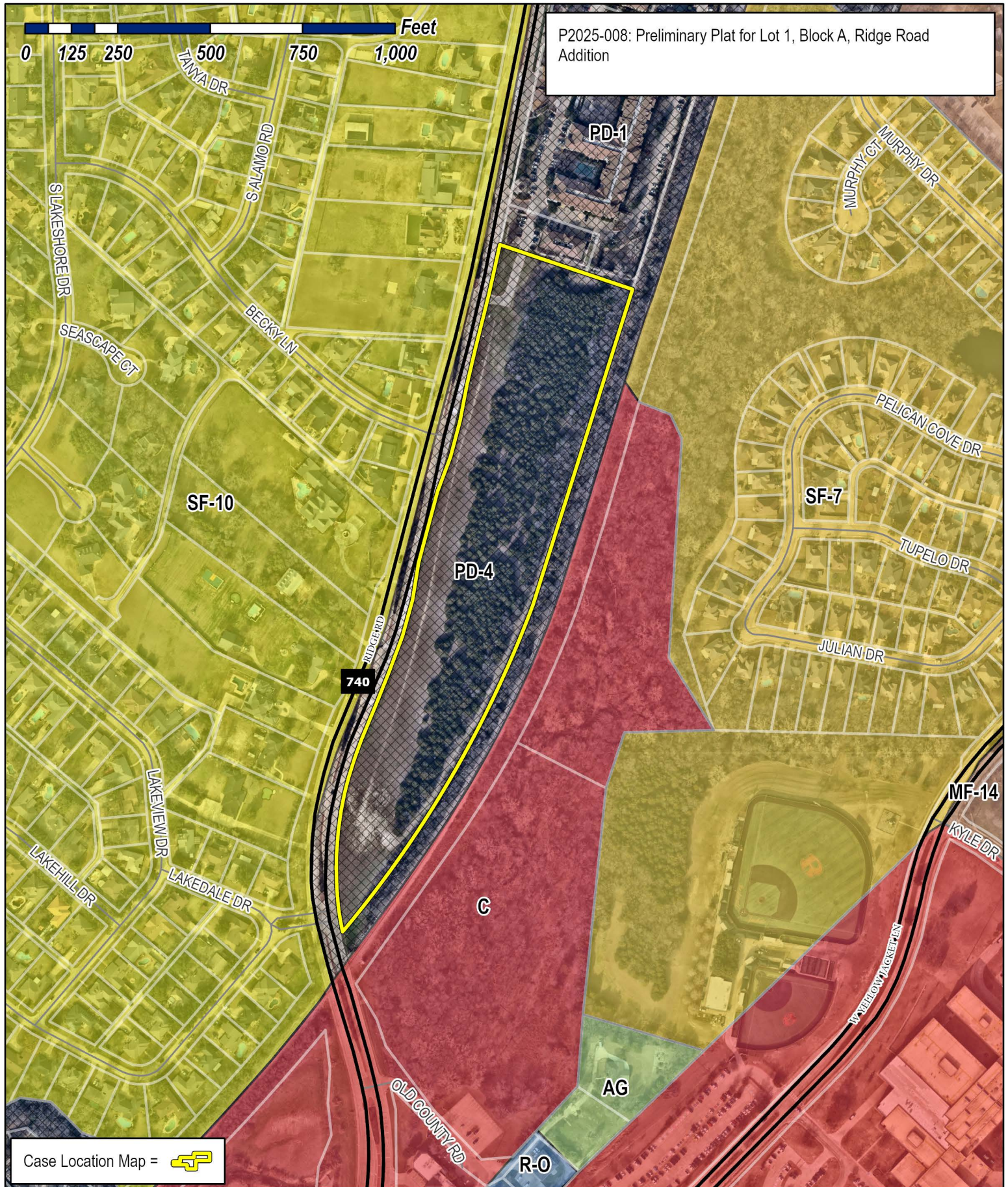
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF march, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Phil Wagner*  
*Jennifer L. Hammonds*



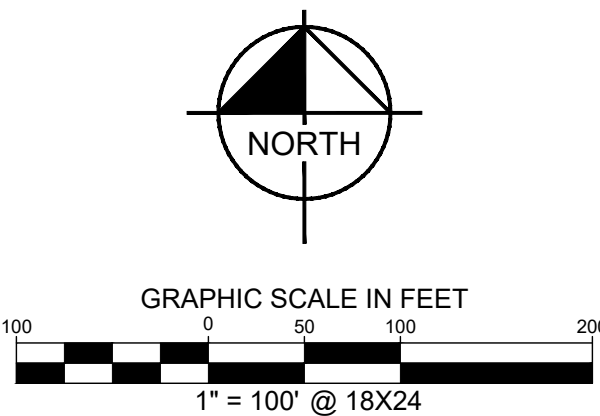
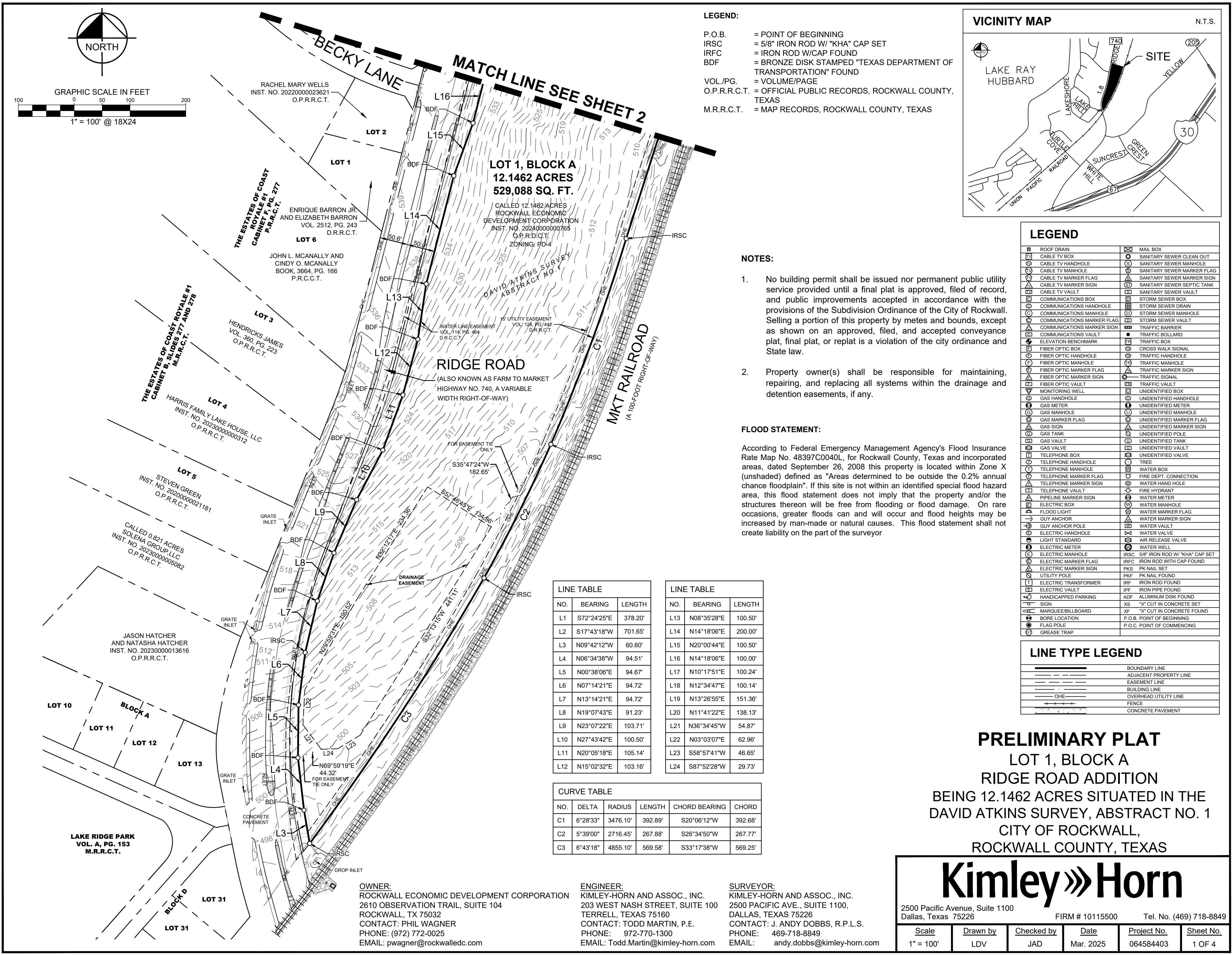


# City of Rockwall

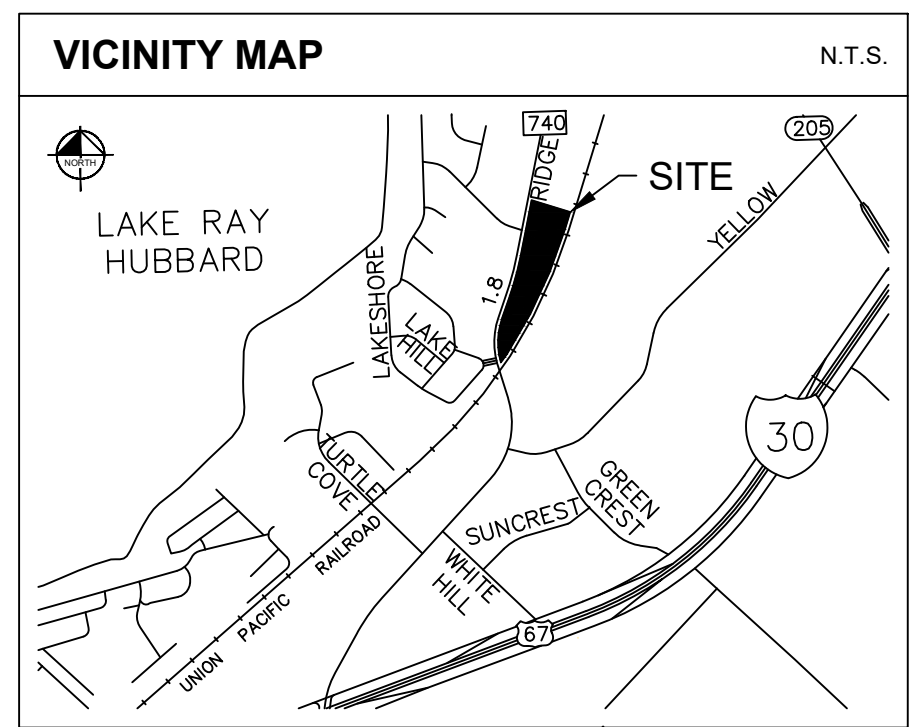
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND:**
- P.O.B. = POINT OF BEGINNING
  - IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
  - IRFC = IRON ROD W/CAP FOUND
  - BDF = BRONZE DISK STAMPED "TEXAS DEPARTMENT OF TRANSPORTATION" FOUND
  - VOL./PG. = VOLUME/PAGE
  - O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
  - M.R.R.C.T. = MAP RECORDS, ROCKWALL COUNTY, TEXAS



- NOTES:**
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  - Property owner(s) shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any.

**FLOOD STATEMENT:**

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LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
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L4	N06°34'38"W	94.51'	L16	N14°18'06"E	100.00'
L5	N00°38'06"E	94.67'	L17	N10°17'51"E	100.24'
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L9	N23°07'22"E	103.71'	L21	N36°34'45"W	54.87'
L10	N27°43'42"E	100.50'	L22	N03°03'07"E	62.96'
L11	N20°05'18"E	105.14'	L23	S58°57'41"W	46.65'
L12	N15°02'32"E	103.16'	L24	S87°52'28"W	29.73'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	6°28'33"	3476.10'	392.89'	S20°06'12"W	392.68'
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C3	6°43'18"	4855.10'	569.58'	S33°17'38"W	569.25'

**LEGEND**

ROOF DRAIN	MAIL BOX
CABLE TV BOX	SANITARY SEWER CLEAN OUT
CABLE TV HANDHOLE	SANITARY SEWER MANHOLE
CABLE TV MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV MARKER FLAG	SANITARY SEWER MARKER SIGN
CABLE TV MARKER SIGN	SANITARY SEWER SEPTIC TANK
CABLE TV VAULT	SANITARY SEWER VAULT
COMMUNICATIONS BOX	STORM SEWER BOX
COMMUNICATIONS HANDHOLE	STORM SEWER DRAIN
COMMUNICATIONS MANHOLE	STORM SEWER MANHOLE
COMMUNICATIONS MARKER FLAG	STORM SEWER VAULT
COMMUNICATIONS MARKER SIGN	TRAFFIC BARRIER
COMMUNICATIONS VAULT	TRAFFIC BOLLARD
ELEVATION BENCHMARK	TRAFFIC BOX
FIBER OPTIC BOX	CROSS WALK SIGNAL
FIBER OPTIC HANDHOLE	TRAFFIC HANDHOLE
FIBER OPTIC MANHOLE	TRAFFIC MANHOLE
FIBER OPTIC MARKER FLAG	TRAFFIC MARKER SIGN
FIBER OPTIC MARKER SIGN	TRAFFIC SIGNAL
FIBER OPTIC VAULT	TRAFFIC VAULT
MONITORING WELL	UNIDENTIFIED BOX
GAS HANDHOLE	UNIDENTIFIED HANDHOLE
GAS METER	UNIDENTIFIED METER
GAS MANHOLE	UNIDENTIFIED MANHOLE
GAS MARKER FLAG	UNIDENTIFIED MARKER FLAG
GAS SIGN	UNIDENTIFIED MARKER SIGN
GAS TANK	UNIDENTIFIED POLE
GAS VAULT	UNIDENTIFIED TANK
GAS VALVE	UNIDENTIFIED VAULT
TELEPHONE BOX	UNIDENTIFIED VALVE
TELEPHONE HANDHOLE	TREE
TELEPHONE MANHOLE	WATER BOX
TELEPHONE MARKER FLAG	FIRE DEPT. CONNECTION
TELEPHONE MARKER SIGN	WATER HAND HOLE
TELEPHONE VAULT	FIRE HYDRANT
PIPELINE MARKER SIGN	WATER METER
ELECTRIC BOX	WATER MANHOLE
FLOOD LIGHT	WATER MARKER FLAG
GUY ANCHOR	WATER MARKER SIGN
GUY ANCHOR POLE	WATER VAULT
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ELECTRIC METER	WATER WELL
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ELECTRIC MARKER FLAG	IRFC IRON ROD WITH CAP FOUND
ELECTRIC MARKER SIGN	PKS PK NAIL SET
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BORE LOCATION	P.O.B. POINT OF BEGINNING
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GREASE TRAP	

**LINE TYPE LEGEND**

BOUNDARY LINE
ADJACENT PROPERTY LINE
EASEMENT LINE
BUILDING LINE
OVERHEAD UTILITY LINE
FENCE
CONCRETE PAVEMENT

**PRELIMINARY PLAT**  
**LOT 1, BLOCK A**  
**RIDGE ROAD ADDITION**  
 BEING 12.1462 ACRES SITUATED IN THE  
 DAVID ATKINS SURVEY, ABSTRACT NO. 1  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

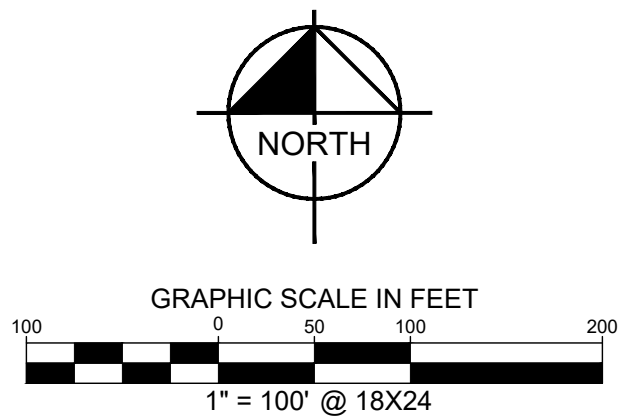
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	LDV	JAD	Mar. 2025	064584403	1 OF 4

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 CONTACT: PHIL WAGNER  
 PHONE: (972) 772-0025  
 EMAIL: pwagner@rockwalledc.com

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC., INC.  
 203 WEST NASH STREET, SUITE 100  
 TERRELL, TEXAS 75160  
 CONTACT: TODD MARTIN, P.E.  
 PHONE: 972-770-1300  
 EMAIL: Todd.Martin@kimley-horn.com

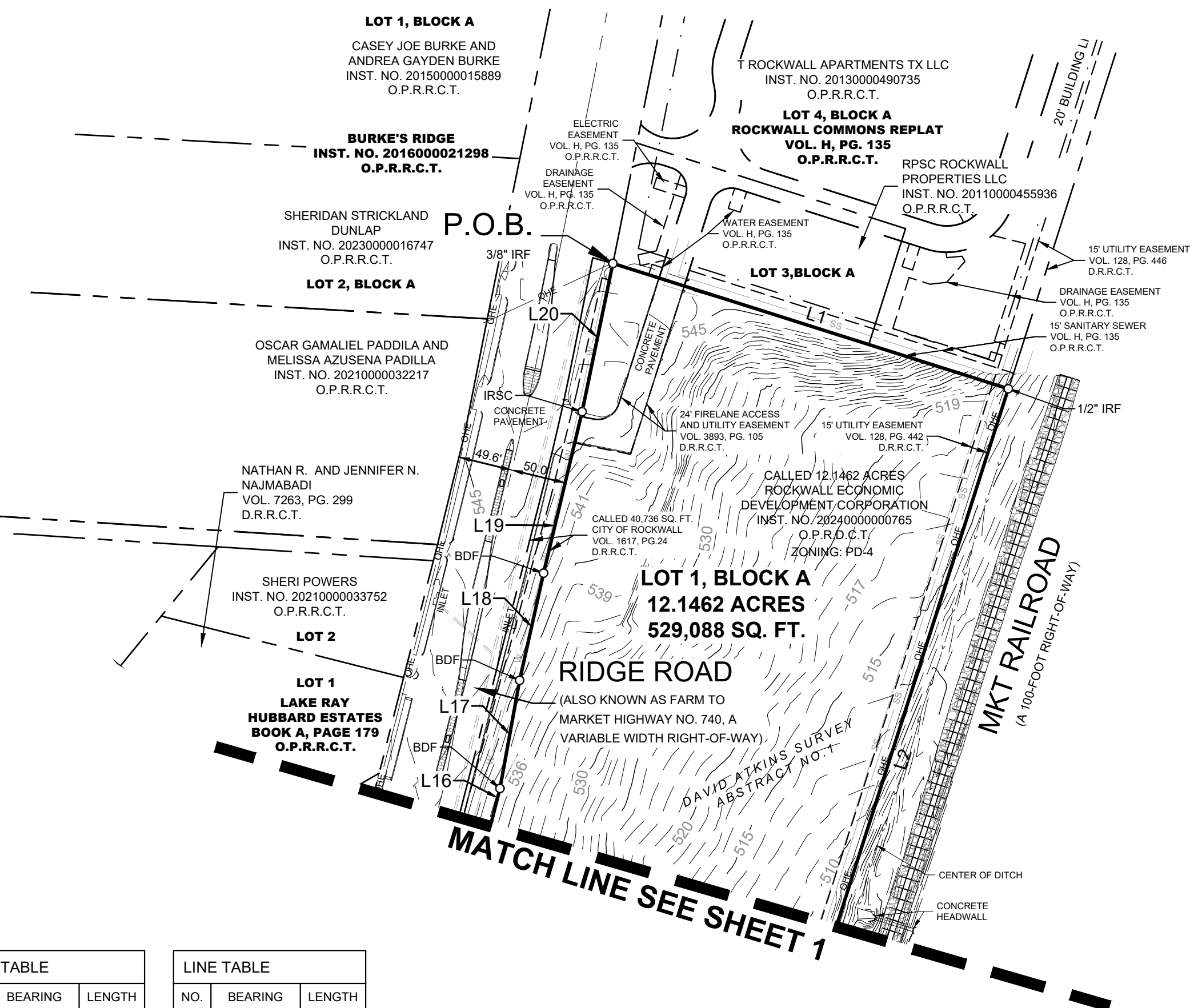
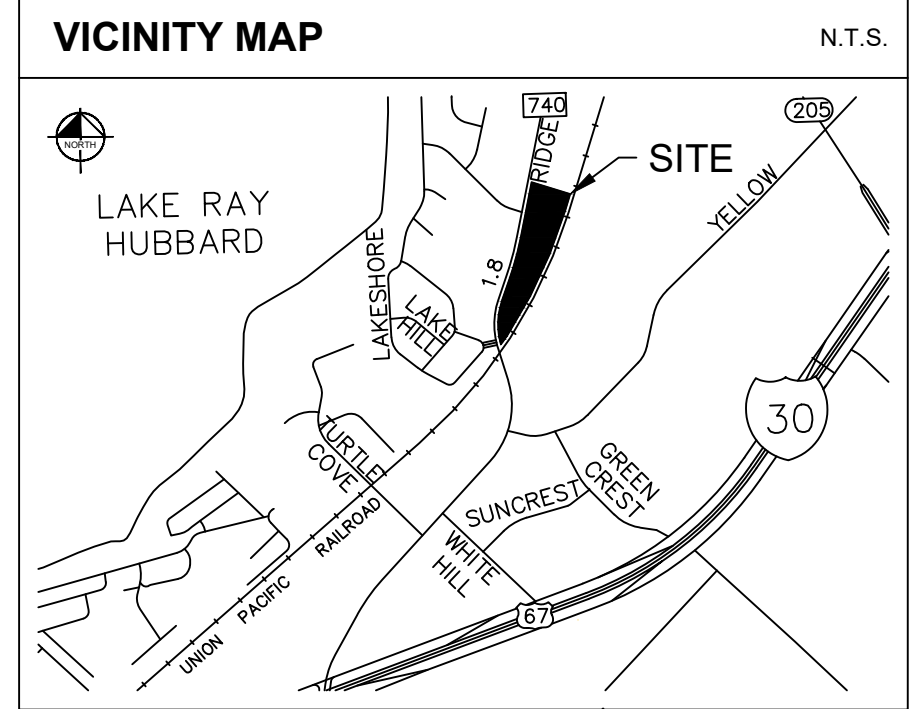
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 CONTACT: J. ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

DWG NAME: K:\DAL\_SURVEY\064584403-1861 RIDGE ROAD - ROCKWALL.DWG PLOTTED BY: VALDEZ, LEONARDO 3/13/2025 5:15 PM LAST SAVED 3/13/2025 2:30 PM



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☐	CABLE TV MANHOLE	○	SANITARY SEWER MARKER FLAG
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☐	GREASE TRAP		

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**LINE TABLE**

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 CONTACT: J. ANDY DOBBS, R.P.L.S.  
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**PRELIMINARY PLAT**  
 LOT 1, BLOCK A  
 RIDGE ROAD ADDITION  
 BEING 12.1462 ACRES SITUATED IN THE  
 DAVID ATKINS SURVEY, ABSTRACT NO. 1  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226		FIRM # 10115500		Tel. No. (469) 718-8849	
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	LDV	JAD	Mar. 2025	064584403	2 OF 4

DWG NAME: K:\DAL\_SURVEY\064584403-1861 RIDGE ROAD - ROCKWALL\DWG\064584403-1861 RIDGE ROAD\_PP.DWG PLOTTED BY: VALDEZ, LEONARDO 3/13/2025 5:15 PM LAST SAVED 3/13/2025 2:30 PM



**OWNERS CERTIFICATE**

**STATE OF TEXAS  
COUNTY OF ROCKWALL**

**WHEREAS**, a tract of land situated in the David Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, and being all of a called 12.1462 acre tract of land described in the General Warranty Deed to Rockwall Economic Development Corporation, recorded in Instrument No. 2024000000765, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

**BEGINNING** at 3/8-inch iron rod found for the southwest corner of Lot 3, Block A of Rockwall Commons Replat, an Addition to the City of Rockwall according to the plat thereof recorded in Instrument No. 2010000443217, Official Public Records, Rockwall County, Texas and the northwest corner of said 12.1462 acre tract, in the east right-of-way line of Ridge Road (also known as Farm to Market Highway No. 740, a variable width right-of-way);

**THENCE** with the north line of said 12.1462 acre tract, South 72°24'25" East, a distance of 378.20 feet to a 1/2-inch iron rod found for the northeast corner of said 12.1462 acre tract, in the west right-of-way line of MKT Railroad (a 100-foot right-of-way);

**THENCE** with said west right-of-way line of MKT Railroad, the following courses and distances:

South 17°43'18" West, a distance of 701.65 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 3,476.10 feet, a central angle of 06°28'33", and a chord bearing and distance of South 20°06'12" West, 392.68 feet; In a southerly direction, with said non-tangent curve to the right, an arc distance of 392.89 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 2,716.45 feet, a central angle of 05°39'00", and a chord bearing and distance of South 26°34'50" West, 267.77 feet; In a southerly direction, with said non-tangent curve to the right, an arc distance of 267.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 4,855.10 feet, a central angle of 06°43'18", and a chord bearing and distance of South 33°17'38" West, 569.25 feet; In a southerly direction, with said non-tangent curve to the right, an arc distance of 569.58 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for the south corner of said 12.1462 acre tract, at the intersection of said west right-of-way line of MKT Railroad and said east right-of-way line of Ridge Road;

**THENCE** with said east right-of-way line of Ridge Road and the west line of said 12.1462 acre tract, the following courses and distances:

North 09°42'12" West, a distance of 60.60 feet to a 4-inch bronze disk stamped "Texas Department of Transportation" found (hereinafter called bronze disk);  
North 06°34'38" West, a distance of 94.51 feet to a bronze disk found;  
North 00°38'06" East, a distance of 94.67 feet to a bronze disk found;  
North 07°14'21" East, a distance of 94.72 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set;  
North 13°14'21" East, a distance of 94.72 feet to a bronze disk found;  
North 19°07'43" East, a distance of 91.23 feet to a bronze disk found;  
North 23°07'22" East, a distance of 103.71 feet to a bronze disk found;  
North 27°43'42" East, a distance of 100.50 feet to a bronze disk found;  
North 20°05'18" East, a distance of 105.14 feet to a bronze disk found;  
North 15°02'32" East, a distance of 103.16 feet to a bronze disk found;  
North 08°35'28" East, a distance of 100.50 feet to a bronze disk found;  
North 14°18'06" East, a distance of 200.00 feet to a bronze disk found;  
North 20°00'44" East, a distance of 100.50 feet to a bronze disk found;  
North 14°18'06" East, a distance of 100.00 feet to a bronze disk found;  
North 10°17'51" East, a distance of 100.24 feet to a bronze disk found;  
North 12°34'47" East, a distance of 100.14 feet to a bronze disk found;  
North 13°26'55" East, a distance of 151.36 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set;  
North 11°41'22" East, a distance of 138.13 feet to the **POINT OF BEGINNING** and containing an area of 529,088 square feet or 12.1462 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

We, **ROCKWALL ECONOMIC DEVELOPMENT CORPORATION**, the undersigned owner of the land shown on this plat, and designated herein as the **RIDGE ROAD ADDITION** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, except those created by separate instrument, which are governed by the terms of such separate instruments. We further certify that all other parties who have a mortgage or lien interest in the **RIDGE ROAD ADDITION** have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, except those created by separate instrument, which are governed by the terms of such separate instruments. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements created hereby.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of the easement strips created hereby; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself.

Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, a Texas non-profit corporation

By: ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, a Texas non-profit corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF \_\_\_\_\_ §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_ 202\_\_.

\_\_\_\_\_  
Notary Public in and for the State of \_\_\_\_\_

**OWNER:**  
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX 75032  
CONTACT: PHIL WAGNER  
PHONE: (972) 772-0025  
EMAIL: pwagner@rockwalledc.com

**ENGINEER:**  
KIMLEY-HORN AND ASSOC., INC.  
203 WEST NASH STREET, SUITE 100  
TERRELL, TEXAS 75160  
CONTACT: TODD MARTIN, P.E.  
PHONE: 972-770-1300  
EMAIL: Todd.Martin@kimley-horn.com

**SURVEYOR:**  
KIMLEY-HORN AND ASSOC., INC.  
2500 PACIFIC AVE., SUITE 1100,  
DALLAS, TEXAS 75226  
CONTACT: J. ANDY DOBBS, R.P.L.S.  
PHONE: 469-718-8849  
EMAIL: andy.dobbs@kimley-horn.com

**PRELIMINARY PLAT  
LOT 1, BLOCK A  
RIDGE ROAD ADDITION  
BEING 12.1462 ACRES SITUATED IN THE  
DAVID ATKINS SURVEY, ABSTRACT NO. 1  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**

<b>Kimley»Horn</b>					
2500 Pacific Avenue, Suite 1100 Dallas, Texas 75226					
FIRM # 10115500			Tel. No. (469) 718-8849		
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	LDV	JAD	Mar. 2025	064584403	3 OF 4

DWG NAME: K:\DAL\\_SURVEY\064584403-1661 RIDGE ROAD - ROCKWALL\LDWG\064584403-1661 RIDGE ROAD.PP.DWG PLOTTED BY VALDEZ, LEONARDO 3/13/2025 5:15 PM LAST SAVED 3/13/2025 2:30 PM

**SURVEYOR'S STATEMENT**

THAT I, J. Andy Dobbs, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Engineers and Land Surveyors.

Dated this the \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

\_\_\_\_\_  
J. Andy Dobbs  
Registered Professional Land Surveyor No. 6196  
2500 Pacific Avenue, Suite 1100  
Dallas, Texas 75226  
(469) 718-8849  
andy.dobbs@kimley-horn.com

**PRELIMINARY**

THIS DOCUMENT SHALL  
NOT BE RECORDED FOR  
ANY PURPOSE AND  
SHALL NOT BE USED OR  
VIEWED OR RELIED  
UPON AS A FINAL  
SURVEY DOCUMENT

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared J. Andy Dobbs, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_ 202\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

**RECOMMENDED FOR FINAL APPROVAL**

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

**APPROVED:**

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

**PRELIMINARY PLAT**  
**LOT 1, BLOCK A**  
**RIDGE ROAD ADDITION**  
**BEING 12.1462 ACRES SITUATED IN THE**  
**DAVID ATKINS SURVEY, ABSTRACT NO. 1**  
**CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	LDV	JAD	Mar. 2025	064584403	4 OF 4

**OWNER:**  
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CONTACT: J. ANDY DOBBS, R.P.L.S.  
PHONE: 469-718-8849  
EMAIL: andy.dobbs@kimley-horn.com



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 25, 2025  
**APPLICANT:** Phil Wagner; *Rockwall Economic Development Corporation (REDC)*  
**CASE NUMBER:** P2025-010; *Replat for Lots 9-11, Block A, Rockwall Technology Park*

---

### SUMMARY

Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [FM-549], and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for a 23.1612-acre parcel of land (*i.e. Lots 9-11, Block A, Rockwall Technology Park Addition*) for the purpose of changing the lot lines for the three (3) lots and establishing a drainage easement on lot 11.
- Background. The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from Agricultural (AG) District and Light Industrial (LI) District. On June 16, 1999, the City Council approved a final plat [*Case No. PZ1999-059-01*] that established the subject property as a portion of Block A, Rockwall Technology Park Addition. On November 20, 2000, the City Council approved a replat [*Case No. PZ2000-099-01*] of Lot 1, Block A, Rockwall Technology Park. On January 10, 2003, the City Council approved a replat [*Case No. PZ2002-042-01*] for Lot 1, Block A, Rockwall Technology Park. On January 18, 2004, the City Council approved a replat [*Case No. P2004-060*] for Lot 2, Block A, Rockwall Technology Park. On December 10, 2008, the City Council approved a replat [*Case No. P2008-038*] for Lots 7 & 8, Block A, Rockwall Technology Park. On May 12, 2022, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2022-014*] for the purpose of constructing an *Office/Manufacturing Facility* on Lots 7 & 8, Block A, Rockwall Technology Park Addition. The subject property has remained vacant since the time of annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- conforming to the requirements for plats as stipulated by the *Subdivision Ordinance* in the *Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: P2025-010  
PROJECT NAME: Replat for Lots 5-8, Block A, Rockwall Technology Park  
SITE ADDRESS/LOCATIONS: NWC of State Highway 276 and Corporate Crossing

CASE CAPTION: Consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [FM-549], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	03/19/2025	Approved w/ Comments

03/19/2025: P2025-010: Replat for Lots 9-11, Block A, Rockwall Technology Park

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 9, 10, & 11, Block A, Rockwall Technology Park Addition being a 23.1612-acre parcel of land identified as Lots 5, 7, & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, generally located at the northwest corner of the intersection of SH-276 and Corporate Crossing [FM-549].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2025-010) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat  
Rockwall Technology Park Addition  
Lots 9-11, Block A  
Being a Replat of  
Rockwall Technology Park Addition  
Lots 5,7, & 8, Block A  
Being three (3) lots  
23.1612 Acres or 1,008,901.872 SF  
City of Rockwall, Rockwall County, Texas

M.5 Please consolidate pages 1 and 2 to reduce the number of pages. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please change the lot numbers as stated above in the title block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please remove the building setbacks and the landscape easement from the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 The surveyor does not need a notary; their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please provide the right-of-way, and centerline for SH-276 along the property lines. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: March 25, 2025

City Council: April 7, 2025

I.12 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Include the applicable general notes on the plat.  
2. Include the 100yr WSEL of the detention pond here.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

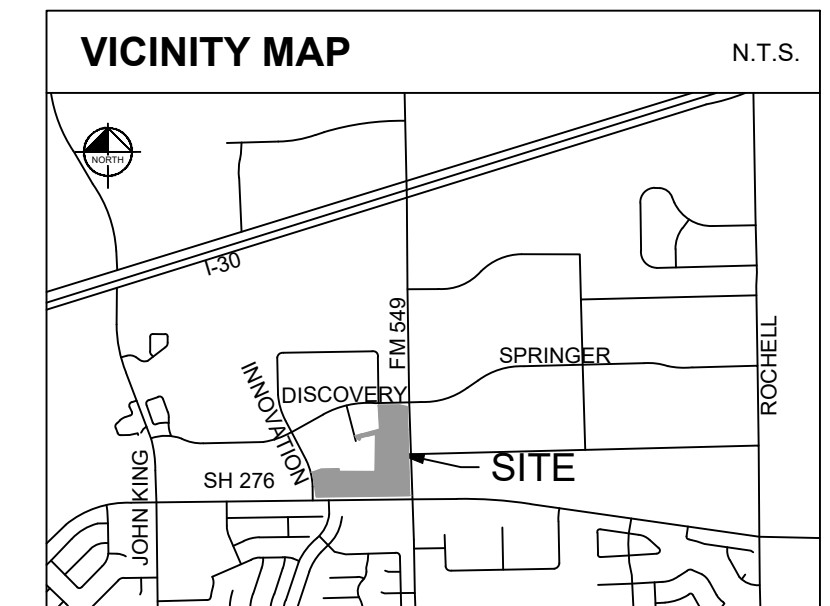
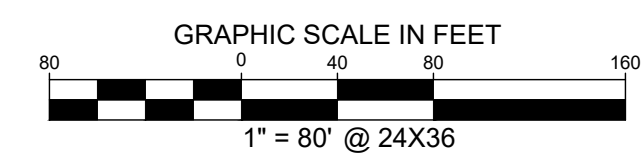
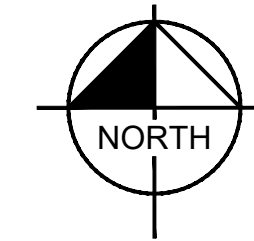
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

No Comments

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L2	N01°06'09"W	43.32'	L13	N18°13'52"E	22.19'
L3	S88°53'51"W	5.00'	L14	N07°20'23"E	6.82'
L4	N01°06'09"W	22.56'	L15	N88°53'51"E	175.65'
L5	N88°53'51"E	30.00'	L16	S69°06'15"E	16.76'
L6	S01°06'09"E	22.56'	L17	S41°26'18"W	14.50'
L7	S88°53'51"W	5.00'	L18	S33°06'50"E	4.17'
L8	S01°06'09"E	43.42'	L19	S89°11'18"W	5.81'
L9	N23°55'40"W	3.65'	L20	S88°53'51"W	20.00'
L10	N05°41'44"E	12.53'	L21	N01°06'09"W	40.10'
L11	N18°34'02"E	8.83'	L22	S41°17'29"W	10.31'
L12	N43°01'00"E	3.79'			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	43°09'06"	23.00'	17.32'	S19°42'56"W	16.92'
C2	47°36'22"	23.00'	19.11'	S65°05'40"W	18.57'



LINE TYPE LEGEND	
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE
	DENIAL OF ACCESS LINE

**LEGEND**

IRF = IRON ROD FOUND  
 IRFC = IRON ROD WITH CAP FOUND  
 IRSC = 5/8" IRON ROD W/ RED PLASTIC CAP STAMPED "KHA" SET  
 XF = "X" CUT FOUND  
 VOL., PG. = VOLUME, PAGE  
 CAB., PG. = CABINET, PAGE  
 SQ. FT. = SQUARE FEET  
 INST. NO. = INSTRUMENT NUMBER  
 D.R.R.C.T. = DEED RECORDS ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

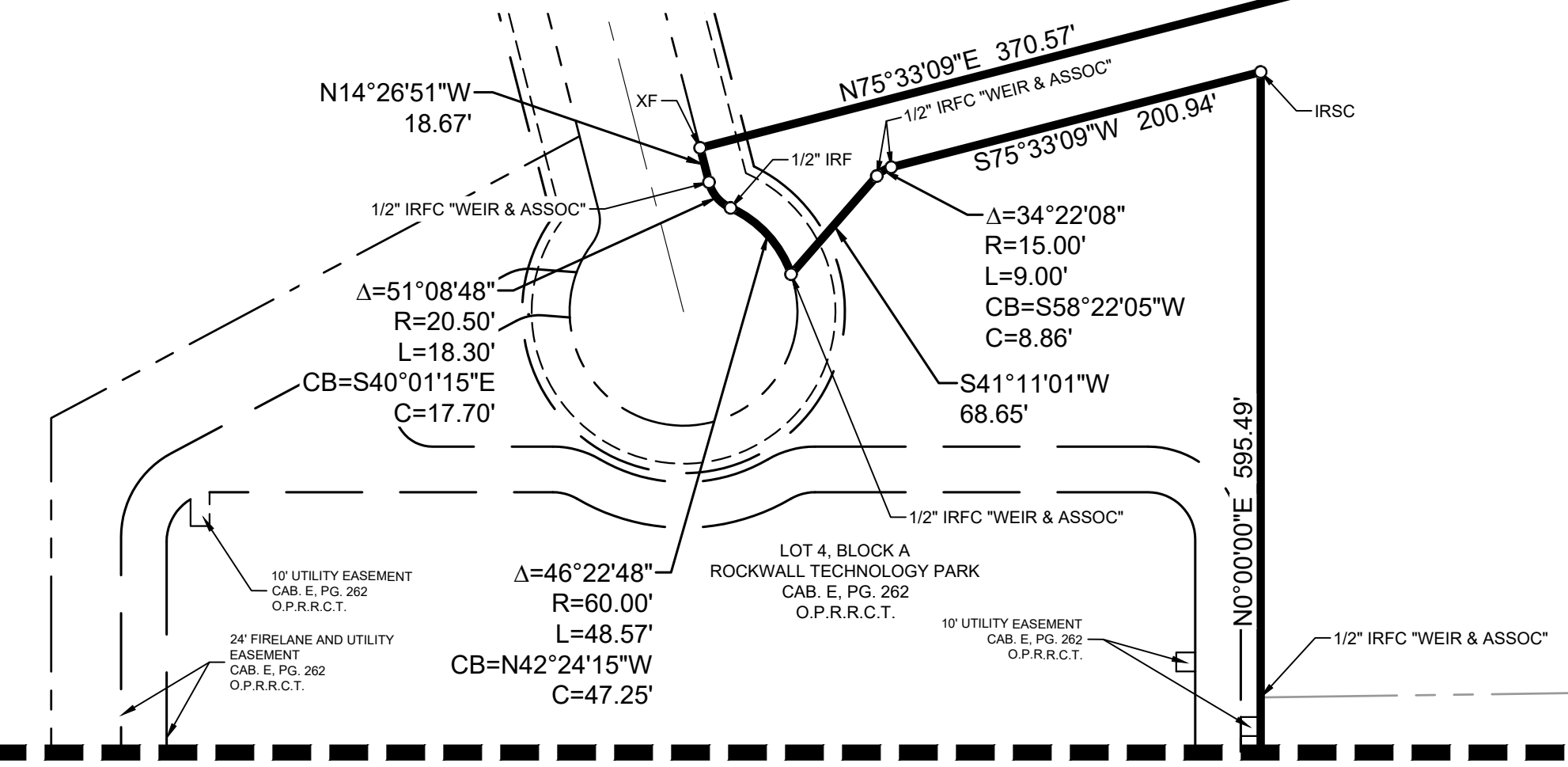
**FLOOD STATEMENT:**

The property is in Flood Insurance Rate Map No. 17090C0010, Rockwall County, Texas and incorporated areas, dated September 26, 2011. The property is in Flood Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain".

**LOT 7, BLOCK A**  
**11.3757 ACRES**  
**495,525 SQ. FT.**

LOT 7, BLOCK A  
 ROCKWALL TECHNOLOGY PARK  
 CAB. G, PG. 367  
 O.P.R.R.C.T.

LOT 4, BLOCK A  
 ROCKWALL TECHNOLOGY PARK  
 CAB. E, PG. 262  
 O.P.R.R.C.T.



**MATCH LINE (SEE SHEET 2)**

**NOTES:**

Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.

It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.

The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

The grid coordinates shown are based upon the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983, U.S. Survey Feet (sFT), on grid coordinate values, no scale and no projection.

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORP.  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TEXAS 75032  
 CONTACT: PHIL WAGNER  
 PHONE: 972-772-0025

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC., INC.  
 203 WEST NASH STREET, SUITE 100  
 TERRELL, TEXAS 75160  
 CONTACT: TODD MARTIN, P.E.  
 PHONE: 469-998-8830  
 EMAIL: todd.martin@kimley-horn.com

**SURVEYOR:**  
 KIMLEY-HORN AND ASSOC., INC.  
 2500 PACIFIC AVENUE, SUITE 1100  
 DALLAS, TEXAS 75226  
 CONTACT: ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

- GENERAL NOTES [Please add this to any other notes included on the plat.]**
- Subdivider's Statement.** Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
  - Public Improvement Statement.** It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
  - Drainage and Detention Easements.** The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
  - Fire Lanes.** All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
  - Street Appurtenances.** All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

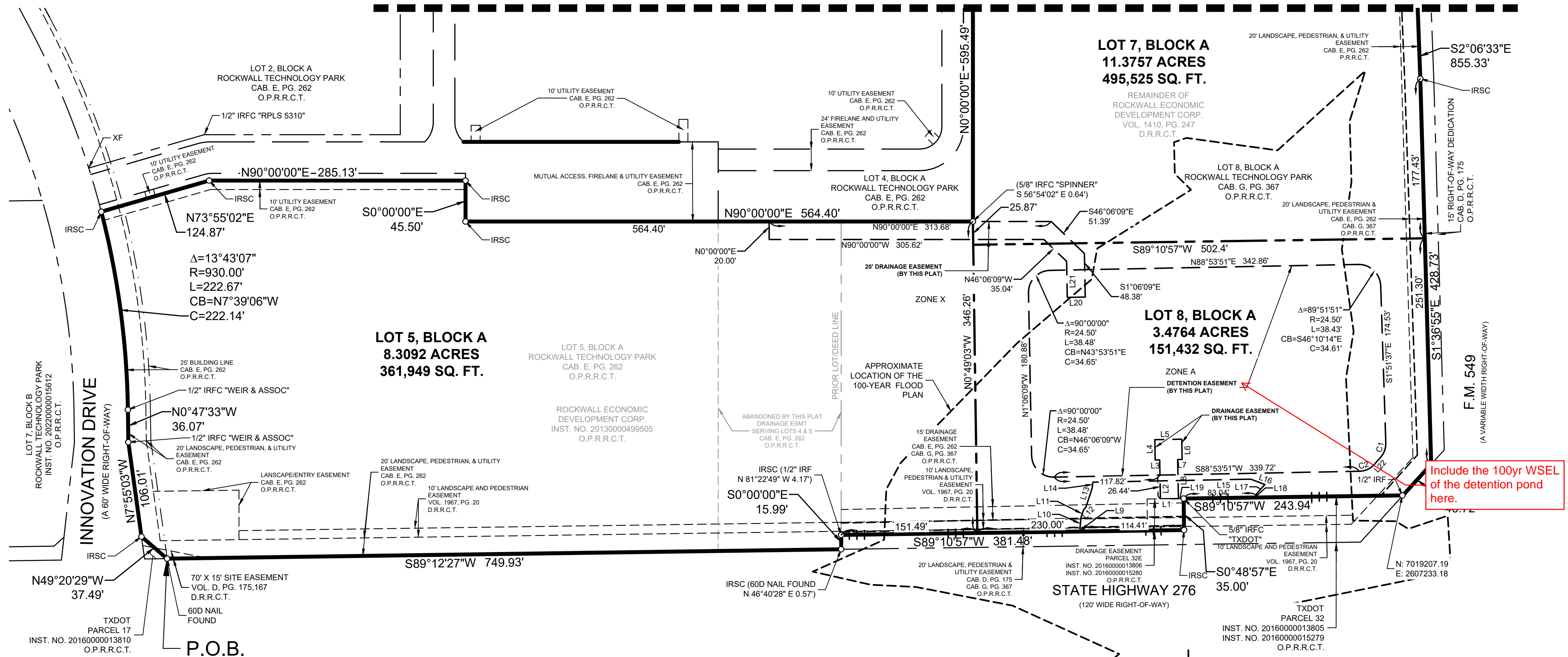
**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

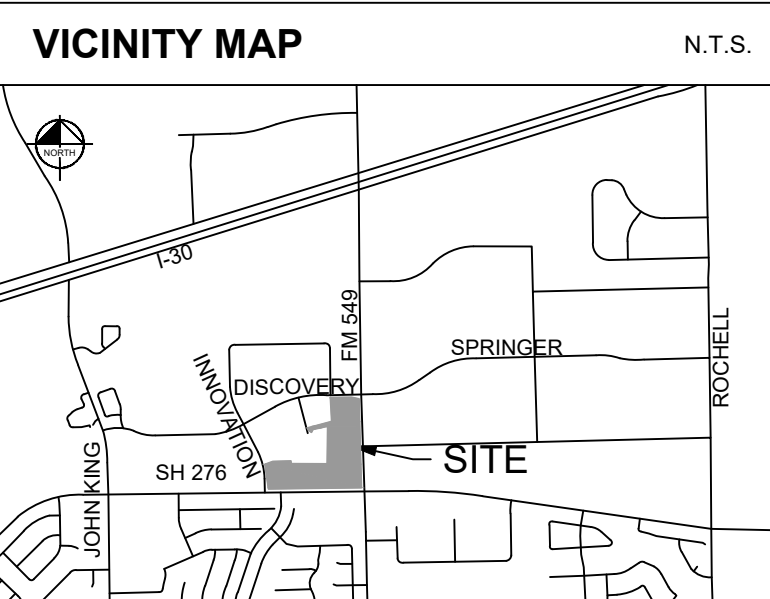
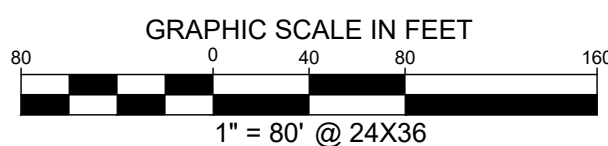
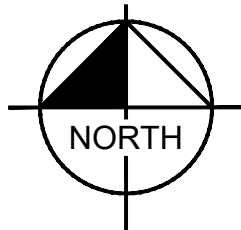
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	JDF	JAD	Mar. 2025	064584400	1 OF 3

DWG NAME: K:\DAL\_SURVEY\064584400-ROCKWALL EDC NWC 276 AND 549\DWG\064584400-ROCKWALL EDC NWC\_RP.DWG PLOTTED BY: FENIMORE DUSTIN 3/14/2025 1:06 PM LAST SAVED: 3/14/2025 12:21 PM

MATCH LINE (SEE SHEET 2)



Include the 100yr WSEL of the detention pond here.



LINE TYPE LEGEND	
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE
	DENIAL OF ACCESS LINE

**OWNER:**  
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 PHONE: 469-998-8830  
 EMAIL: todd.martin@kimley-horn.com

**SURVEYOR:**  
 KIMLEY-HORN AND ASSOC., INC.  
 2500 PACIFIC AVENUE, SUITE 1100  
 DALLAS, TEXAS 75226  
 CONTACT: ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

REPLAT  
**ROCKWALL TECHNOLOGY PARK**  
 BEING LOTS 5, 7, & 8, BLOCK A,  
 ROCKWALL TECHNOLOGY PARK  
 23.1612 ACRES, 1,008,906 SQUARE FEET  
 JAMES M. ALLEN SURVEY, ABSTRACT NO. 67  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

# Kimley»Horn

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	JDF	JAD	Mar. 2025	064584400	2 OF 3

DWG NAME: 'K:\DAL\\_SURVEY\064584400-ROCKWALL EDC NWC 276 AND 549\DWG\064584400-ROCKWALL EDC NWC\_RP.DWG PLOTTED BY: FENIMORE, DUSTIN 3/14/2025 1:06 PM LAST SAVED: 3/14/2025 12:21 PM





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup> & <sup>2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest Corner of State Highway 276 & Corporate Crossing

SUBDIVISION Rockwall Technology Park

LOT 8

BLOCK A

GENERAL LOCATION Northwest Corner of State Highway 276 & Corporate Crossing

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE Undeveloped

PROPOSED ZONING LI

PROPOSED USE Office / Detention Pond

ACREAGE 23.16

LOTS [CURRENT] 3

LOTS [PROPOSED] 3

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Phil Wagner

APPLICANT Phil Wagner

CONTACT PERSON Rockwall EDC

CONTACT PERSON Rockwall EDC

ADDRESS 2610 Observation Trail

ADDRESS 2610 Observation Trail

Suite 104

Suite 104

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE (972) 772-0025

PHONE (972) 772-0025

E-MAIL pwagner@rockwalledc.com

E-MAIL pwagner@rockwalledc.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

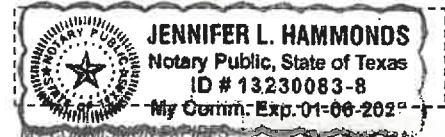
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 765.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

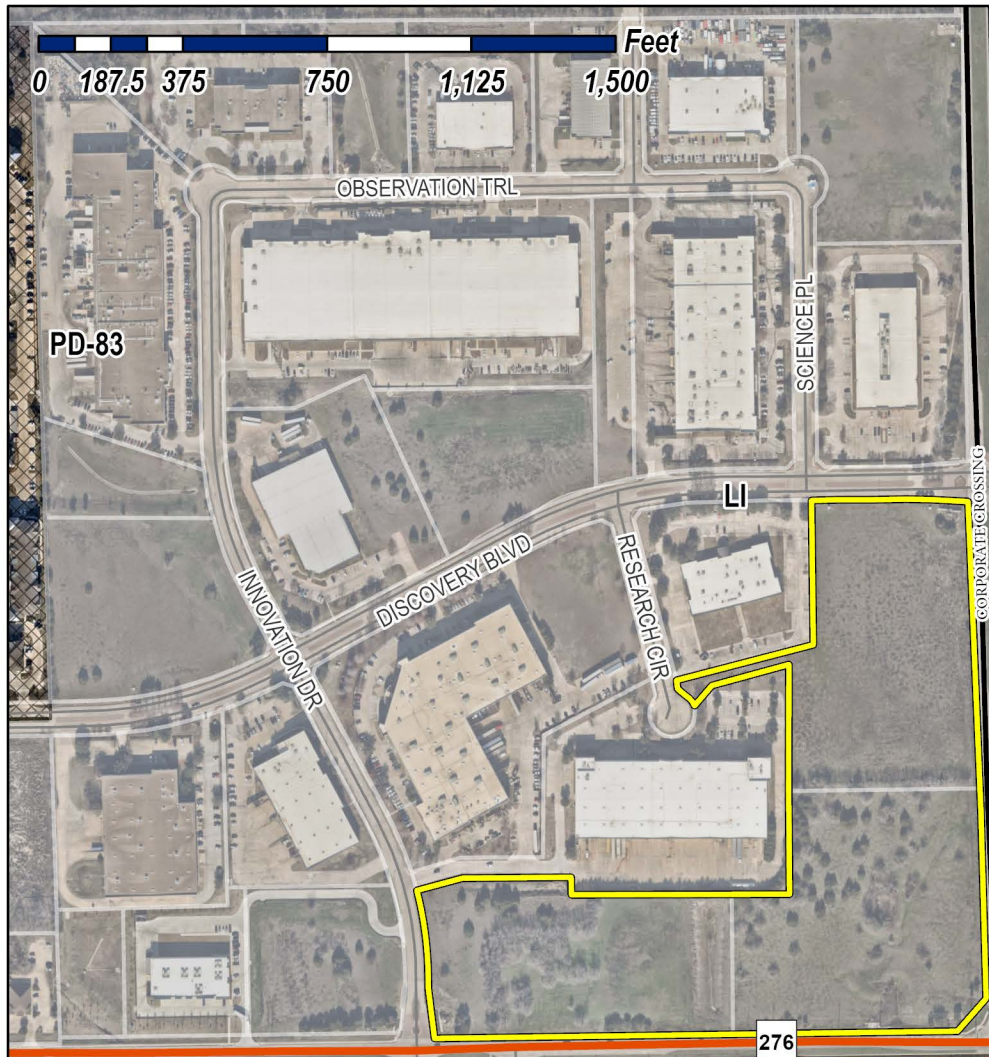
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF March, 2025

OWNER'S SIGNATURE [Signature]

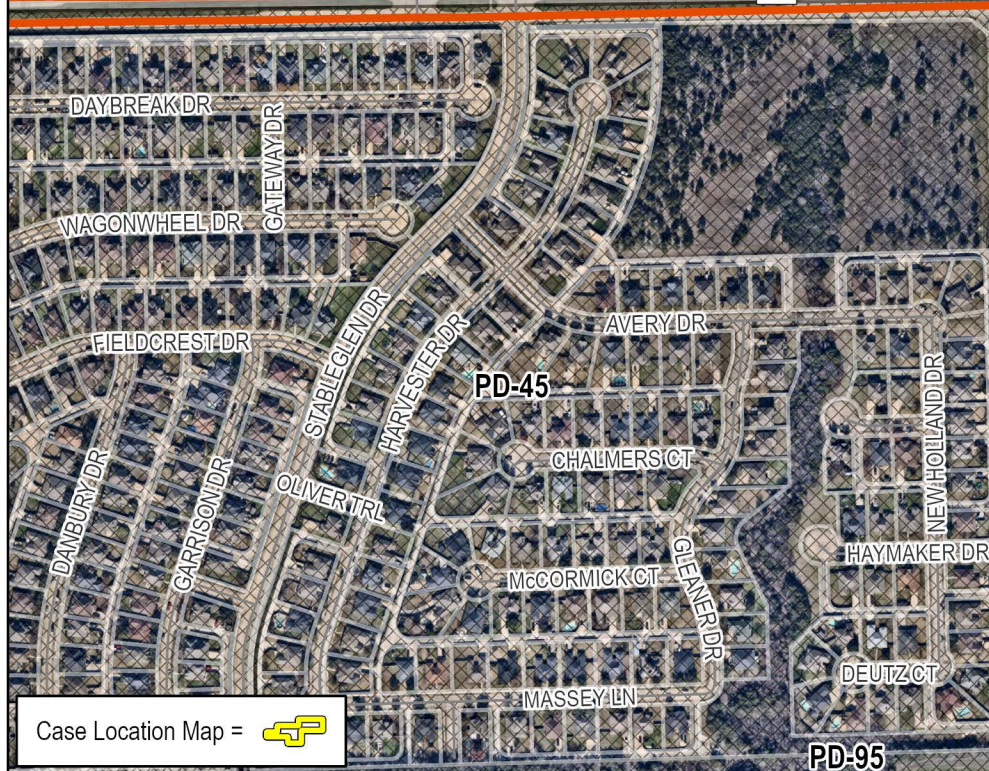
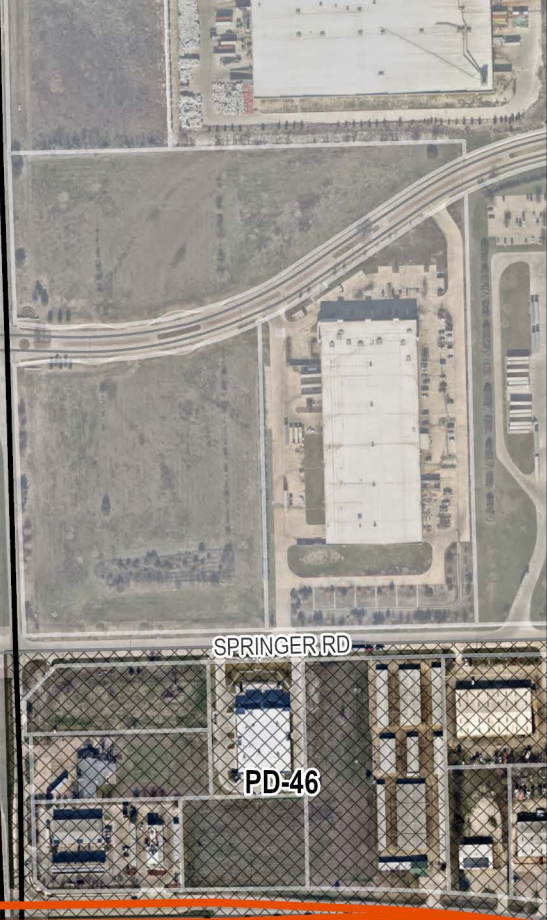
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


[Signature]  
J. Hammonds





P2025-010: Replat for Lots 9-11, Block A, Rockwall Technology Park Addition



Case Location Map = 



# City of Rockwall

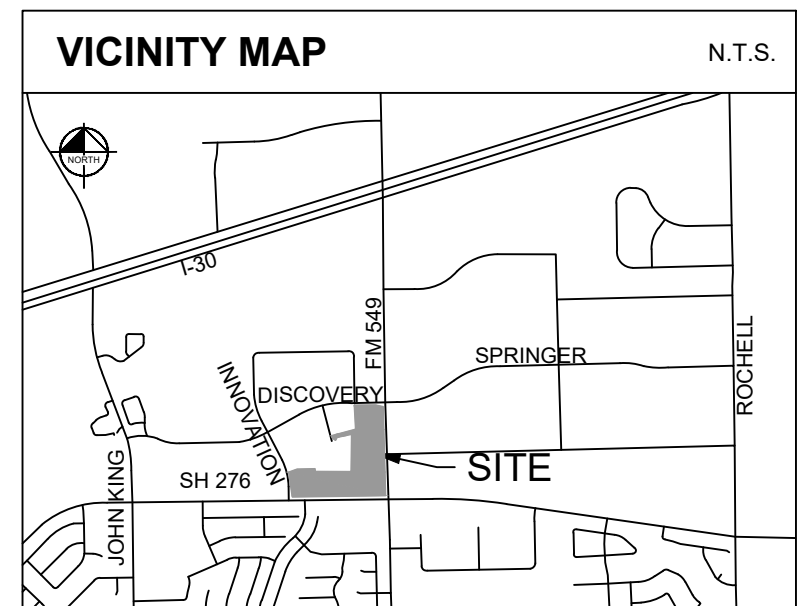
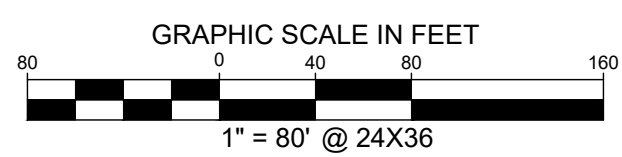
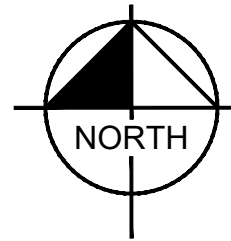
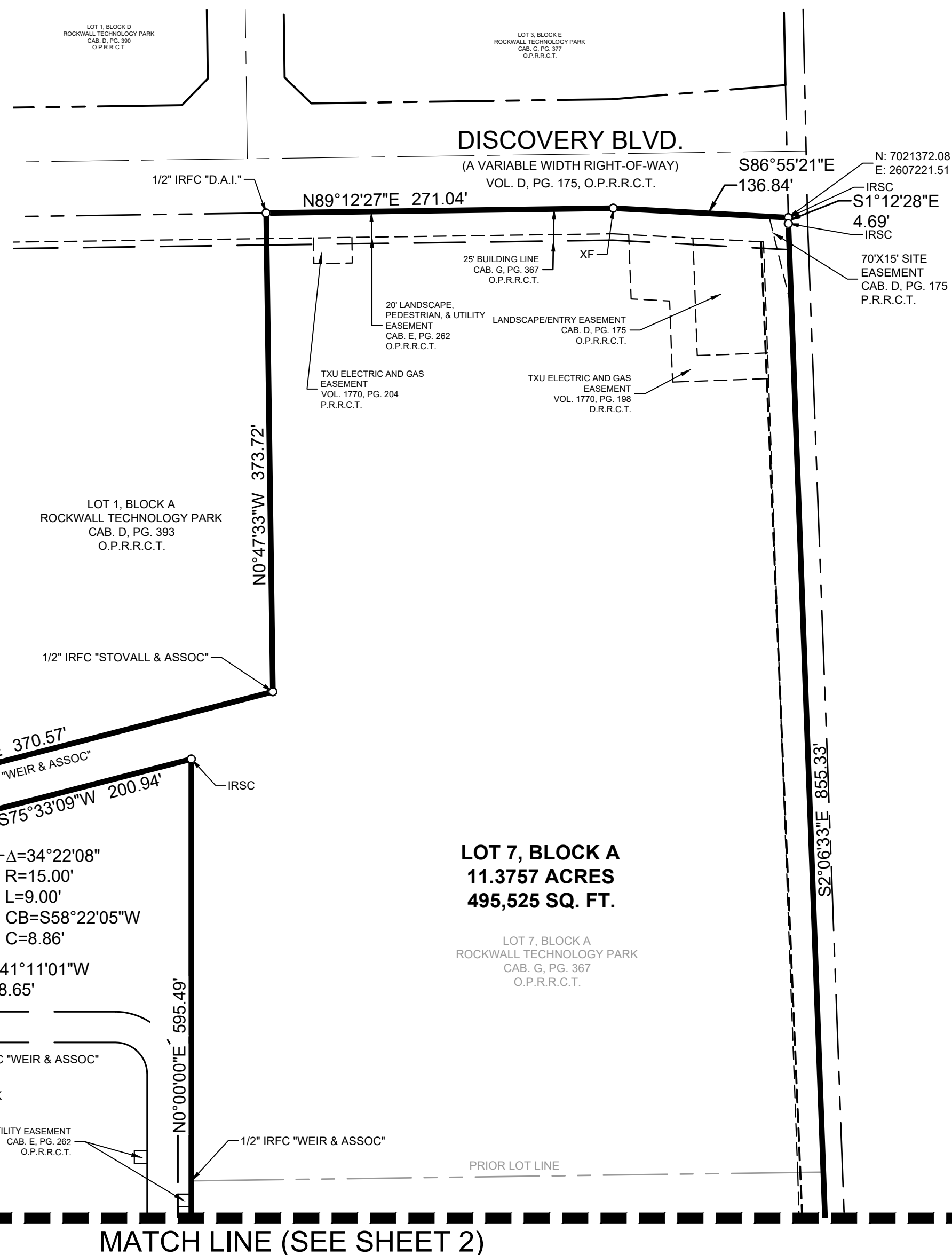
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L2	N01°06'09"W	43.32'	L13	N18°13'52"E	22.19'
L3	S88°53'51"W	5.00'	L14	N07°20'23"E	6.82'
L4	N01°06'09"W	22.56'	L15	N88°53'51"E	175.65'
L5	N88°53'51"E	30.00'	L16	S69°06'15"E	16.76'
L6	S01°06'09"E	22.56'	L17	S41°26'18"W	14.50'
L7	S88°53'51"W	5.00'	L18	S33°06'50"E	4.17'
L8	S01°06'09"E	43.42'	L19	S89°11'18"W	5.81'
L9	N23°55'40"W	3.65'	L20	S88°53'51"W	20.00'
L10	N05°41'44"E	12.53'	L21	N01°06'09"W	40.10'
L11	N18°34'02"E	8.83'	L22	S41°17'29"W	10.31'
L12	N43°01'00"E	3.79'			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	43°09'06"	23.00'	17.32'	S19°42'56"W	16.92'
C2	47°36'22"	23.00'	19.11'	S65°05'40"W	18.57'



LINE TYPE LEGEND	
	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE
	DENIAL OF ACCESS LINE

**LEGEND**

IRF = IRON ROD FOUND  
 IRFC = IRON ROD WITH CAP FOUND  
 IRSC = 5/8" IRON ROD W/ RED PLASTIC CAP STAMPED "KHA" SET  
 XF = "X" CUT FOUND  
 VOL., PG. = VOLUME, PAGE  
 CAB., PG. = CABINET, PAGE  
 SQ. FT. = SQUARE FEET  
 INST. NO. = INSTRUMENT NUMBER  
 D.R.R.C.T. = DEED RECORDS ROCKWALL COUNTY, TEXAS  
 P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0045L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within:

Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain"

Zone A defined as "Special flood hazard areas (SFHAs) subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)"

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor

**NOTES:**

Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.

It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.

The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

The grid coordinates shown are based upon the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983, U.S. Survey Feet (sFT), on grid coordinate values, no scale and no projection.

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORP.  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TEXAS 75032  
 CONTACT: PHIL WAGNER  
 PHONE: 972-772-0025

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC., INC.  
 203 WEST NASH STREET, SUITE 100  
 TERRELL, TEXAS 75160  
 CONTACT: TODD MARTIN, P.E.  
 PHONE: 469-998-8830  
 EMAIL: todd.martin@kimley-horn.com

**SURVEYOR:**  
 KIMLEY-HORN AND ASSOC., INC.  
 2500 PACIFIC AVENUE, SUITE 1100  
 DALLAS, TEXAS 75226  
 CONTACT: ANDY DOBBS, R.P.L.S.  
 PHONE: 469-718-8849  
 EMAIL: andy.dobbs@kimley-horn.com

MATCH LINE (SEE SHEET 2)

REPLAT  
**ROCKWALL TECHNOLOGY PARK**  
 BEING LOTS 5, 7, & 8, BLOCK A,  
 ROCKWALL TECHNOLOGY PARK  
 23.1612 ACRES, 1,008,906 SQUARE FEET  
 JAMES M. ALLEN SURVEY, ABSTRACT NO. 67  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

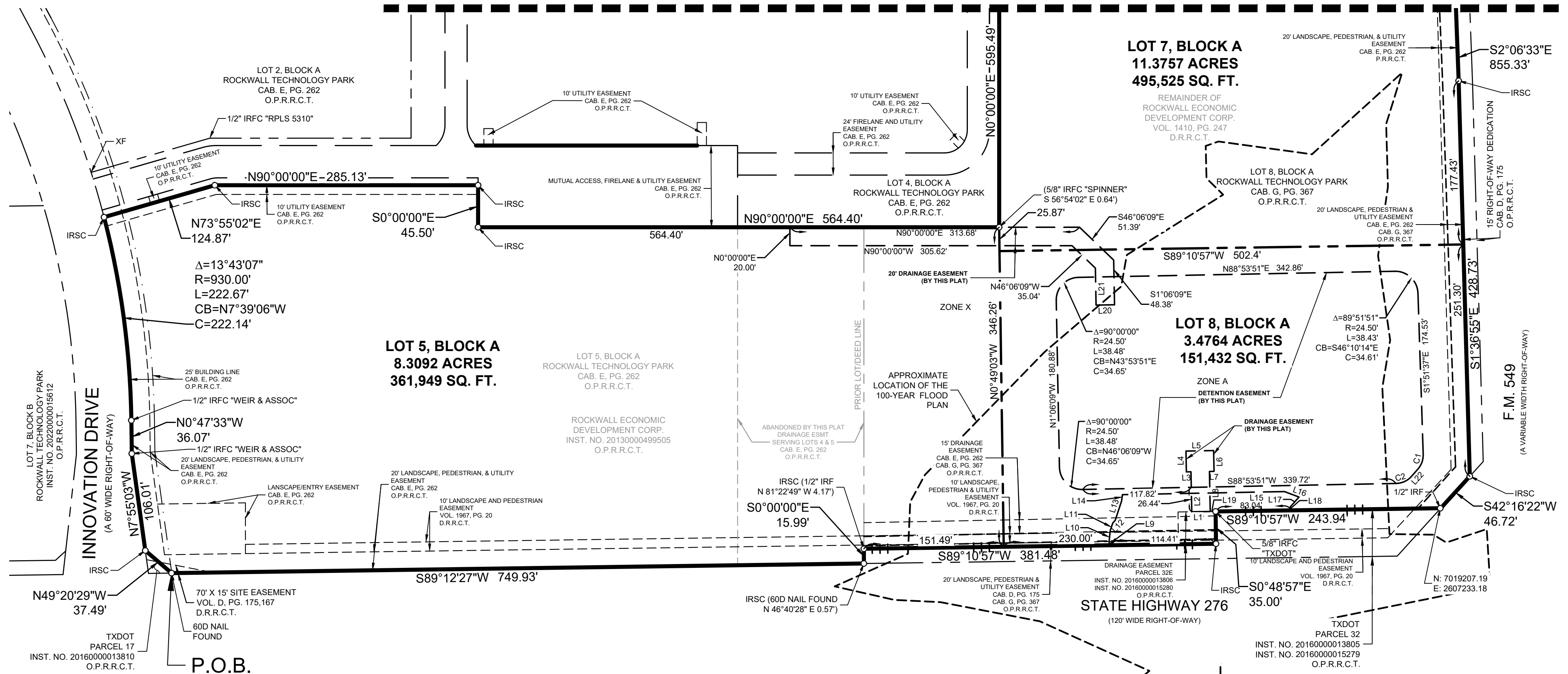
**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	JDF	JAD	Mar. 2025	064584400	1 OF 3

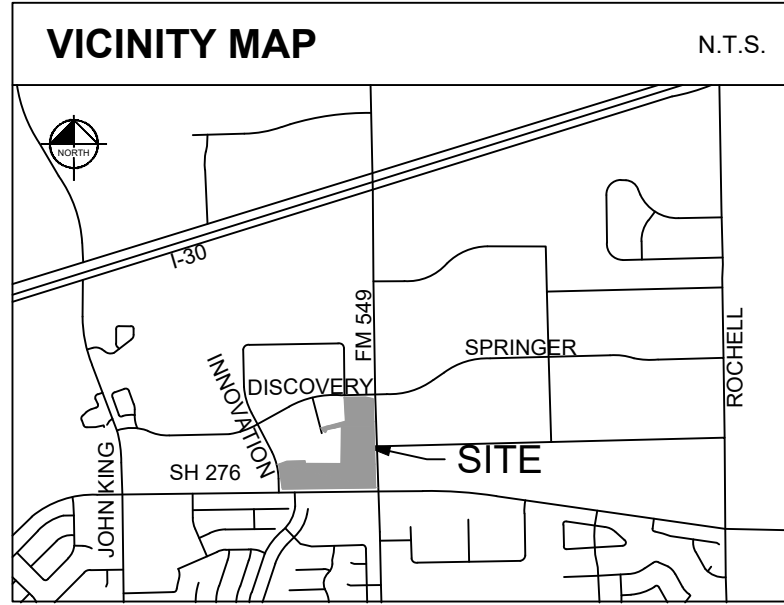
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MATCH LINE (SEE SHEET 2)



**LEGEND**

IRF = IRON ROD FOUND  
 IRFC = IRON ROD WITH CAP FOUND  
 IRSC = 5/8" IRON ROD W/ RED PLASTIC CAP STAMPED "KHA" SET  
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 P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



**LINE TYPE LEGEND**

	BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE
	DENIAL OF ACCESS LINE

**OWNER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORP.  
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REPLAT  
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 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
 Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

Scale 1" = 80'	Drawn by JDF	Checked by JAD	Date Mar. 2025	Project No. 064584400	Sheet No. 2 OF 3
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DWG NAME: K:\DAL\_SURVEY\064584400-ROCKWALL EDC NWC 276 AND 549\DWG\064584400-ROCKWALL EDC NWC\_RP.DWG PLOTTED BY: FENIMORE, DUSTIN 3/14/2025 1:06 PM LAST SAVED: 3/14/2025 12:21 PM

**OWNERS CERTIFICATION:**

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT CORPORATION are the owners of a tract of land situated in the James M. Allen Survey, Abstract No. 67, City of Rockwall, Rockwall County, Texas and being all of a tract of land described in Special Warranty Deed to ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, recorded in Instrument No. 20130000499505, Official Public Records, Rockwall County, Texas, and being a portion of a tract of land described in Special Warranty Deed to ROCKWALL ECONOMIC DEVELOPMENT CORPORATION, recorded in Volume 1410, Page 247, of the Deed Records of Rockwall County, Texas, and being all of Lot 5, Block A, Rockwall Technology Park addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet E, Page 262, of said Official Public Records, and being all of Lots 7 and 8, Block A, Rockwall Technology Park addition, an addition to the City of Rockwall, according to the plat recorded in Cabinet G, Page 367, of said Official Public Records, and being more particularly described as follows:

**BEGINNING** at a 60D nail found at the southeast end of a corner clip at the intersection of the north right-of-way line of State Highway 276 (a 120 foot wide right-of-way) and the east right-of-way line of Innovation Drive (a 60 foot wide right-of-way);

**THENCE** with said corner clip, North 49°20'29" West, a distance of 37.49 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said corner clip;

**THENCE** with said east right-of-way line of Innovation Drive, the following courses and distances:

North 07°55'03" West, a distance of 106.01 feet to a 1/2" iron rod with plastic cap stamped "WEIR & ASSOC" found for corner;  
North 00°47'33" West, a distance of 36.07 feet to a 1/2" iron rod with plastic cap stamped "WEIR & ASSOC" found for the beginning of a tangent curve to the left with a radius of 930.00 feet, a central angle of 13°43'07", and a chord bearing and distance of North 07°39'06" West, 222.14 feet;  
In a northwesterly direction, with said tangent curve to the left, an arc distance of 222.67 feet to a point 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said Lot 5 and the southwest corner of Lot 4, Block A of said Rockwall Technology Park addition (Cabinet E, Page 262), in said east right-of-way line of Innovation Drive;

**THENCE** departing said east right-of-way line of Innovation Drive, with the north line of said Lot 5, the following courses and distances:

North 73°55'02" East, a distance of 124.87 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
North 90°00'00" East, a distance of 285.13 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
South 00°00'00" East, a distance of 45.50 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
orth 90°00'00" East, passing at a distance of 417.87 feet, the northeast corner of said Lot 5, and continuing with the north line of said Lot 8, for a total distance of 564.40 feet to a point for the southeast corner of said Lot 4, from which a 5/8" iron rod with plastic cap stamped "SPINNER" found bears South 56°54'02" East, a distance of 0.64 feet;

**THENCE** with the most northerly west line of said Lot 8, North 00°00'00" East, passing at a distance of 185.79 feet, the northwest corner of said Lot 8, continuing with a west line of said Lot 7 for a total distance of 595.49 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** with the most northerly south lines of said Lot 7, the following courses and distances:

South 75°33'09" West, a distance of 200.94 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for the beginning of a tangent curve to the left with a radius of 15.00 feet, a central angle of 34°22'08", and a chord bearing and distance of South 58°22'05" West, 8.86 feet;  
In a southwesterly direction, with said tangent curve to the left, an arc distance of 9.00 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for corner;  
South 41°11'01" West, a distance of 68.65 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found in the east right-of-way line of Research Circle (a variable width right-of-way), said point being the beginning of a non-tangent curve to the left with a radius of 60.00 feet, a central angle of 46°22'48", and a chord bearing and distance of North 42°24'15" West, 47.25 feet;

**THENCE** with said east right-of-way line of Research Circle, the following courses and distances:

In a northwesterly direction, with said non-tangent curve to the left, an arc distance of 48.57 feet to a 1/2" iron rod found for the beginning of a reverse curve to the right with a radius of 20.50 feet, a central angle of 51°08'48", and a chord bearing and distance of North 40°01'15" West, 17.70 feet;  
In a northwesterly direction, with said reverse curve to the right, an arc distance of 18.30 feet to a 1/2" iron rod with plastic cap stamped "WIER & ASSOC" found for corner;  
North 14°26'51" West, a distance of 18.67 feet to an "X" cut in concrete found for corner;

**THENCE** departing said east right-of-way line of Research Circle, with the most southerly north line of said Lot 7, North 75°33'09" East, a distance of 370.57 feet to a 1/2" iron rod with plastic cap stamped "STOVALL & ASSOC" found for corner;

**THENCE** with a west line of said Lot 7, North 00°47'33" West, a distance of 373.72 feet to a 1/2" iron rod with plastic cap stamped "D.A.I." found for the northwest corner of said Lot 7, in the south right-of-way line of Discovery Boulevard (a variable width right-of-way);

**THENCE** with said south right-of-way line of Discovery Boulevard, the following courses and distances:

North 89°12'27" East, a distance of 271.04 feet to an "X" cut in concrete found for corner;  
South 86°55'21" East, a distance of 136.84 feet to a 5/8" iron rod with plastic cap stamped "KHA" set at the intersection of said south right-of-way line of Discovery Boulevard and the west right-of-way line of F.M. 549 (a variable width right-of-way);

**THENCE** with said west right-of-way line of F.M. 549, the following courses and distances:

South 01°12'28" East, a distance of 4.69 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
South 02°06'33" East, a distance of 855.33 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
South 01°36'55" East, a distance of 428.73 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northeast corner of a corner clip at the intersection of said west right-of-way line of F.M. 549 and said north right-of-way line of State Highway 276;

**THENCE** with said corner clip, South 42°16'22" West, a distance of 46.72 feet to a 1/2" iron rod found for corner;

**THENCE** with said north right-of-way line of State Highway 276, the following courses and distances:

South 89°10'57" West, a distance of 243.94 feet to a 5/8" iron rod with plastic cap stamped "TXDOT" found for corner;  
South 00°48'57" East, a distance of 35.00 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;  
South 89°10'57" West, passing at a distance of 324.66 feet, the west line of said Lot 8, continuing with said north right-of-way line of State Highway 276 a distance of 381.48 feet to a point for corner, from which, a 1/2" iron rod found bears North 89°22'49" West, a distance of 4.17 feet;  
South 00°00'00" East, a distance of 15.99 feet to a point for corner, from which a 60D Nail found bears North 46°40'28" East, a distance of 0.57 feet;  
South 89°12'27" West, a distance of 749.93 feet to the **POINT OF BEGINNING** and containing 1,008,906 square feet or 23.1613 acres of land.

Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983 (2011).

**OWNERS DEDICATION:**

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

We, **ROCKWALL ECONOMIC DEVELOPMENT CORP.**, the undersigned owner of the land shown on this plat, and designated herein as the **ROCKWALL TECHNOLOGY PARK** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, except those created by separate instrument, which are governed by the terms of such separate instruments. We further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL TECHNOLOGY PARK** have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, except those created by separate instrument, which are governed by the terms of such separate instruments. We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

\_\_\_\_\_  
Property Owner Signature

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

\_\_\_\_\_  
Notary Public in and for the State of \_\_\_\_\_

**SURVEYOR'S STATEMENT:**

**NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT I, J. ANDY DOBBS, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
J. ANDY DOBBS  
Registered Professional Land Surveyor No. 6196  
KIMLEY-HORN AND ASSOC., INC.  
2500 Pacific Ave., Suite 1100  
Dallas, Texas 75226  
469-718-8849  
andy.dobbs@kimley-horn.com

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared J. ANDY DOBBS known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public in and for the State of Texas

**SIGNATURE BLOCK**

**APPROVED:**

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, Texas on the \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
Planning and Zoning Commission Chairman

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

REPLAT  
**ROCKWALL TECHNOLOGY PARK**  
BEING LOTS 5, 7, & 8, BLOCK A,  
**ROCKWALL TECHNOLOGY PARK**  
23.1612 ACRES, 1,008,906 SQUARE FEET  
JAMES M. ALLEN SURVEY, ABSTRACT NO. 67  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CASE NO. \_\_\_\_\_

**Kimley»Horn**

2500 Pacific Avenue, Suite 1100  
Dallas, Texas 75226 FIRM # 10115500 Tel. No. (469) 718-8849

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	JDF	JAD	Mar. 2025	064584400	3 OF 3



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

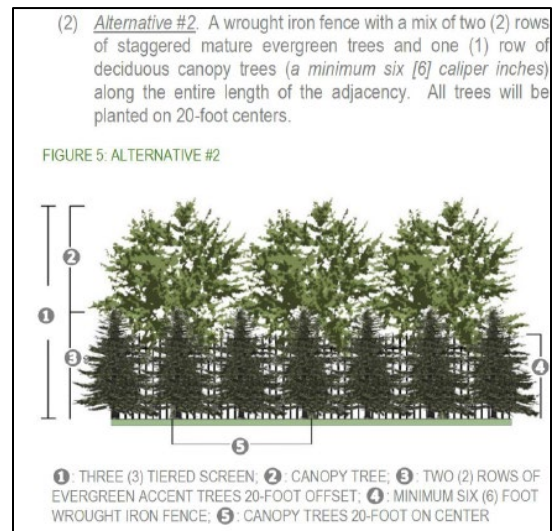
**FROM:** Bethany Ross; *Planner*

**DATE:** March 25, 2025

**SUBJECT:** MIS2025-005; *Exception to the Residential Adjacency Standards*

On August 13, 2024, the Planning and Zoning Commission approved a site plan [Case No. SP2024-014] for a *Retail Building and Daycare Facility* on an 2.649-acre parcel of land (*i.e. Lot 13, Rockwall Business Park East Addition*) located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205]. As part of the site plan case, the Planning and Zoning Commission granted exceptions to the *Primary and Secondary Articulation Requirements* of the Unified Development Code (UDC). To off-set these requested exceptions, the applicant offered the following compensatory measures: [1] 21% stone on the strip retail building, [2] 30% stone on the daycare facility, [3] a 20-foot landscape buffer in lieu of the required ten (10) foot landscape buffer, and [4] additional landscaping above and beyond the minimum requirements.

On March 14, 2025, the applicant – *Dyanada Nevgi of SRV Land Building and Real Estate, LLC* -- submitted a development application requesting the approval of an *Exception* to the residential adjacency standards for the purpose of allowing three (3)-tiered screening in lieu of the originally approved masonry wall. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers.” However, the UDC does provide an alternative, allowing the Planning and Zoning Commission to consider the use of three-tiered landscaping in such cases. In this instance, the applicant is proposing three (3)-tiered landscaping along the entire length of the residential adjacency.



**Figure 1:** Residential Adjacency Alternative #2

According to Subsection 09.01, *Exceptions to the General Standards*, “...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” The UDC further stipulates that a minimum of two compensatory measures must be provided for each exception requested to offset its potential impact. In this case, the applicant has not proposed any additional compensatory measures beyond the alternative landscaping method. The requested alternative for the use of three (3)-tiered landscaping along the adjacency does not appear to create a negative impact; however, exceptions are a discretionary decision for the Planning and Zoning Commission. In addition, exceptions require a supermajority vote (*i.e. a three-fourths vote of those members present*) for approval. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on March 25, 2025.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: MIS2025-005  
PROJECT NAME: Exception to Residential Adjacency Standards  
SITE ADDRESS/LOCATIONS: 950 & 962 E. Ralph Hall

CASE CAPTION: Discuss and consider a request by Dnyanada Nevgi of SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a Miscellaneous Request for an Exception to the Screening Requirements for Residential Adjacency for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 E. Ralph Hall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved w/ Comments
03/17/2025: 1. Tahoma 31 is a great turfgrass with many benefits 2. Recommend that the playground equipment and installation is IPEMA certified 03/17/2025: Tree mitigation approved			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	03/19/2025	Approved

I.1 This is a request for the approval of a Miscellaneous Request for an Exception to the Screening Requirements for Residential Adjacency for a 2.649-acre parcel of land identified as Lot 13, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and addressed as 950 E. Ralph Hall Parkway.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

I.3 According to Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case, the applicant is providing three (3) tiered landscaping along the adjacency.

I.4 According to Subsection 09.01, Exceptions to the General Standards, "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." To request an exception the code goes on to require that a minimum of two (2) compensatory measures be provided for each exception requested. The purpose of the compensatory measures is to try to directly off-set the impact of requested exception. In this case the applicant has not provided any subsequent compensatory measures.

1.5 According to Subsection 08.02, General Fence Standards, "PVC mesh (i.e. tennis court mesh/windscreen) or other materials or appurtenances (e.g. slats, bamboo, mesh netting, fake or artificial plants or patterned material, signage, banners, etc.) intended to provide screening that are affixed to wrought iron, decorative metal, chain-link or semi-transparent fencing shall be prohibited."

I.6 Please note that a supermajority vote (i.e. a three-fourths vote of those members present) is required for the approval of an exception.

I.7 Please note the scheduled meeting for this case will be held on March 25, 2025 at 6:00 PM in the City Hall Council Chambers. Please also note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 & 962 E. Ralph Hall Pkwy. Rockwall, TX 75032

SUBDIVISION ROCKWALL BUSINESS PARK EAST LOT 13 BLOCK

GENERAL LOCATION RALPH HALL PKWY, TX

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE C

PROPOSED ZONING PROPOSED USE

ACREAGE 2.649 LOTS [CURRENT] 1 LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	BUFFALO COUNTRY PROPERTIES LLC	<input checked="" type="checkbox"/> APPLICANT	SRC Land Building and Real Estate LLC.
CONTACT PERSON	Rajesh Malviya	CONTACT PERSON	Dnyanada Nevgi
ADDRESS	12050 Research Rd #9305	ADDRESS	811 S Central Expressway, Suite 306
CITY, STATE & ZIP	Frisco, TX 75033	CITY, STATE & ZIP	Richardson, TX- 75080
PHONE	214-454-6944	PHONE	214-396-3737
E-MAIL	nrmalviya@yahoo.com	E-MAIL	pm@srlandbuilding.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mona Agarwal [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4th DAY OF March, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF March, 2025

OWNER'S SIGNATURE Mona Agarwal

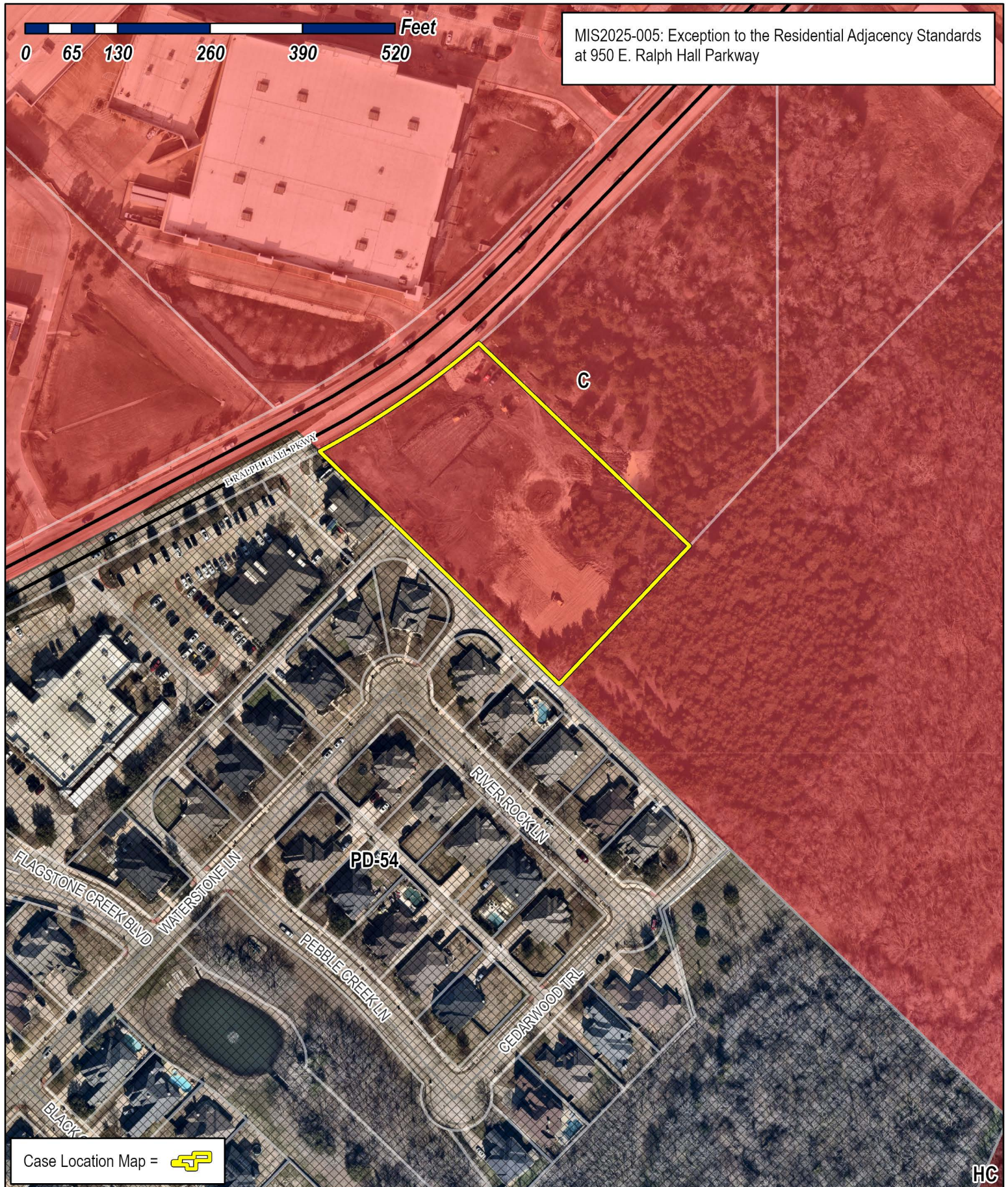
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jenny Marie Brown


12/15/26

MY COMMISSION EXPIRES



MIS2025-005: Exception to the Residential Adjacency Standards at 950 E. Ralph Hall Parkway



Case Location Map = 

HC



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





February 06, 2025

City Planner  
Planning & Zoning Department  
City of Rockwall  
385 S. Goliad St  
Rockwall, Texas 75087

**Re: Variance Request for Screening from Residential – Pinnacle Montessori Academy of Rockwall at 950 & 962 E Ralph Hall Pkwy, Rockwall, TX (SP2024-14)**

As part of the Site Plan for the above-mentioned project, we are proposing a change in the screening wall between our development and the adjacent residential property located south of this project. Following UDC Guidelines, Article 8, Section 05.02 (B), we are proposing an acceptable alternative to the masonry by installing a wrought iron fence with three (3) tiered vegetative screening.

Our mission is to promote green design across all our schools. A wrought iron fence will provide better air circulation, the three (3) tiered vegetative screening will serve as a sound barrier and also offer a more aesthetically pleasing view while still maintaining boundary definition and privacy. Landscaping with trees and shrubs contributes to better air quality and water absorption, reducing runoff compared to an impervious masonry structure. Additionally, an iron fence with landscape buffer is easier to maintain, and repair compared to a brick masonry wall. Any savings from this initiative will be invested in better playground equipment.

For replacing the masonry wall with the wrought iron fence, we are proposing the following option available per UDC guidelines:

Wrought iron fence of minimum six (6) feet in height on property line and three (3) tiered vegetative screening in 20 feet landscape buffer. The 20 feet landscape buffer will be of two (2) rows of evergreen accent trees 20 feet offset and canopy trees at 20 feet center to center.

We have revised our site plan and the landscape plan following the UDC Guidelines to ensure proper screening from the residential property.

As our proposal is within the guidelines of the UDC and not expected to have any adverse impact on project aesthetics, the quality of life and the surrounding environment, we request the City to grant us the variance. We would also like to receive City's input about which of the above two options would be preferable.

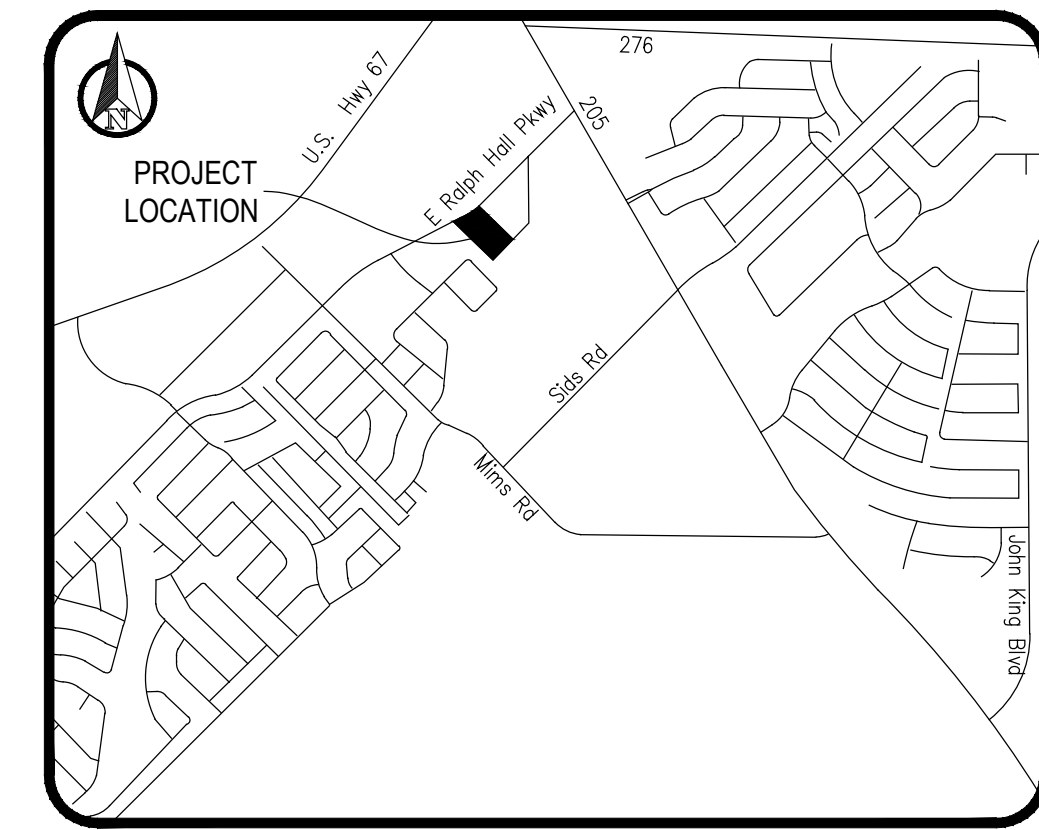
Please let us know if you have any questions or need further clarifications.

Sincerely,

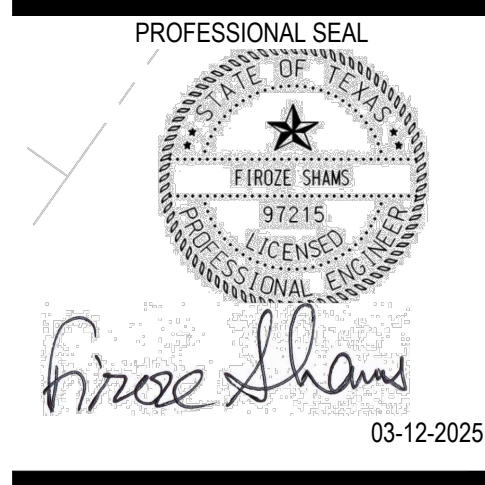
Global Civil Solutions, LLC.

A handwritten signature in black ink that reads 'Firoze Shams'.

Firoze Shams, PE, PTOE  
President



REVISIONS		
#	DATE	COMMENTS
1	07/26/24	THE CITY COMMENTS
2	04/09/24	THE CITY COMMENTS
3	03/12/25	REVISED RIPRAP, RETAINING WALL, & SCREEN WALL



**RESPONSIBILITY NOTES**

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**ZONING DATA**

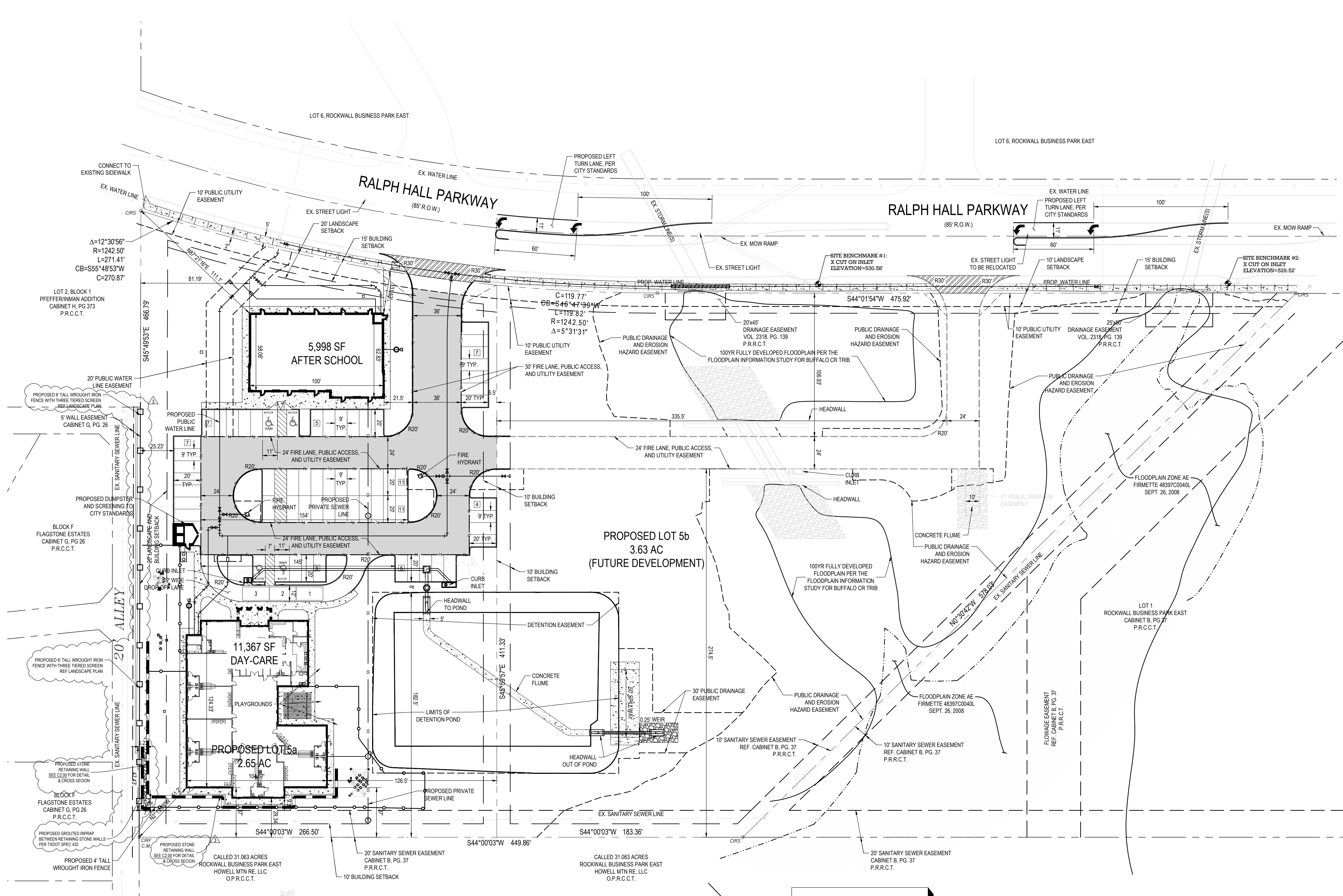
ZONING:	"C" COMMERCIAL
LAND USE:	DAY-CARE, RETAIL, OFFICE
OVERLAY DISTRICT:	N/A
FRONT BUILDING SETBACK:	15 FEET
REAR BUILDING SETBACK:	10 FEET
SIDE (WEST) BUILDING SETBACK:	20 FEET
SIDE (EAST) BUILDING SETBACK:	10 FEET
FRONT LANDSCAPE SETBACK:	20 FEET
SIDE (WEST) LANDSCAPE SETBACK:	20 FEET
MAX BUILDING HEIGHT:	3 STORIES OR 45 FEET
PARKING RATIO FOR DAY-CARE:	1 SPACE PER 300 SQUARE FEET
PARKING RATIO FOR RETAIL/OFFICE:	1 SPACE PER 250 SQUARE FEET

**SITE DATA**

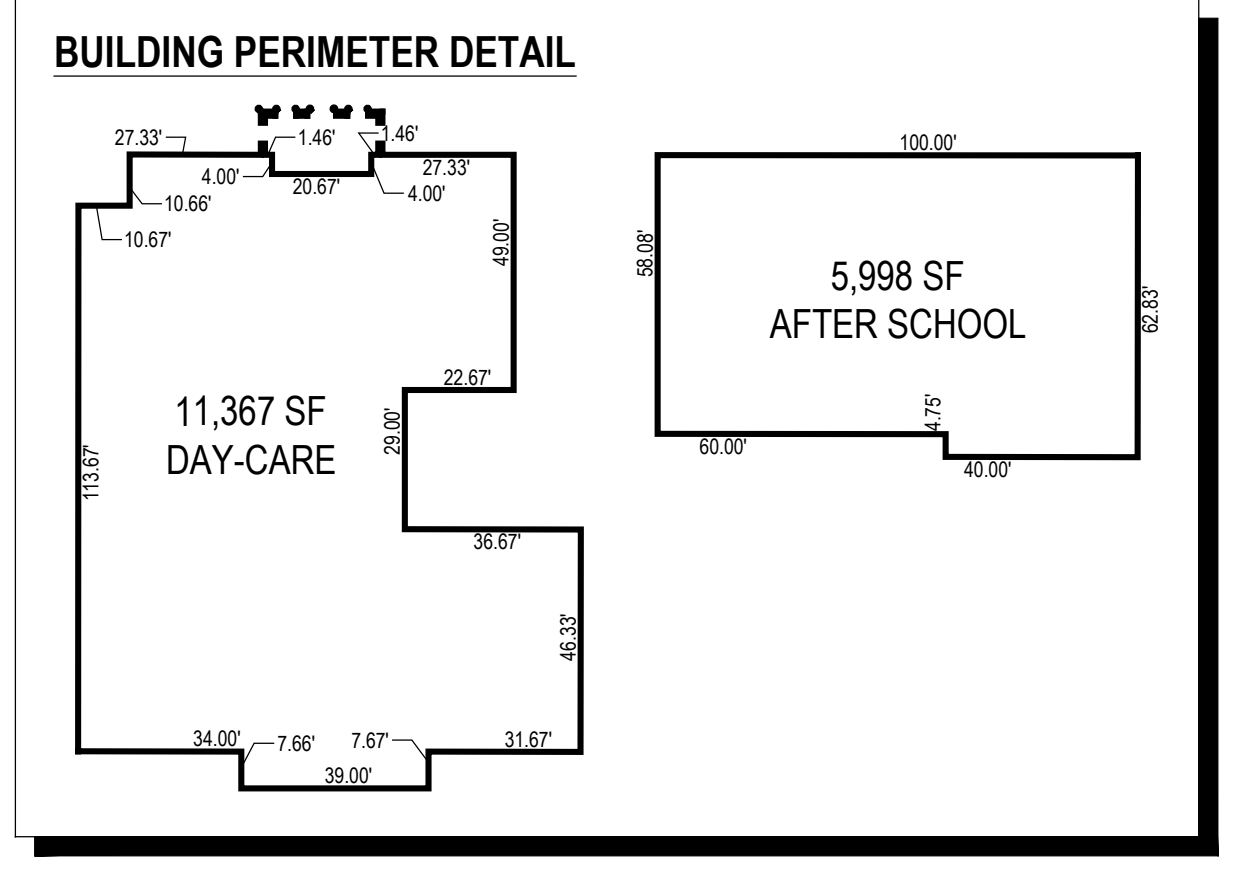
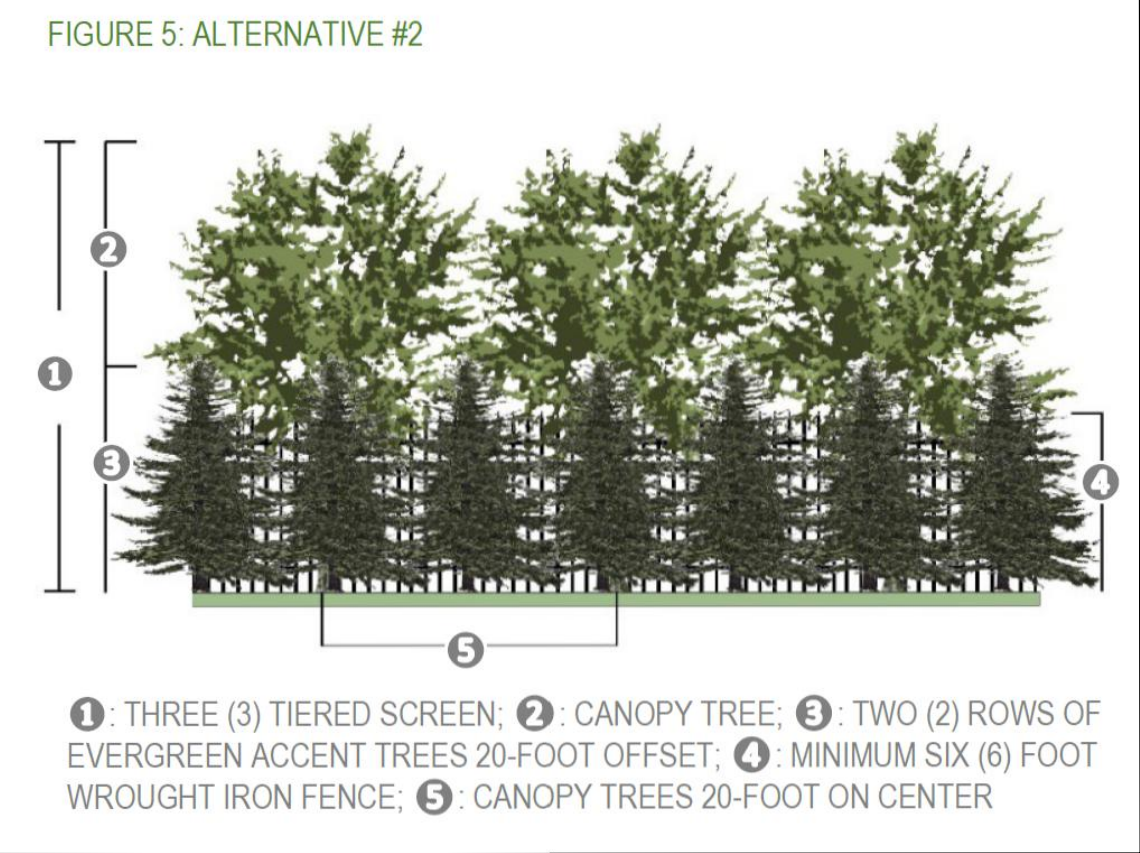
LOT AREA (PROPOSED LOT 5a)	AREA (SF)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

**PARKING DATA**

DAY-CARE:	38 SPACES REQUIRED
1 SPACE PER 300 SF	
RETAIL/OFFICE:	24 SPACES REQUIRED
1 SPACE/250 SQUARE FEET	
TOTAL SPACES REQUIRED:	62 SPACES REQUIRED
TOTAL SPACES PROVIDED:	62 SPACES PROVIDED
HANDICAP SPACES REQUIRED:	3 SPACES REQUIRED
VAN SPACES REQUIRED:	1 SPACE REQUIRED



(2) **Alternative #2.** A wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row of deciduous canopy trees (a minimum six [6] caliper inches) along the entire length of the adjacency. All trees will be planted on 20-foot centers.



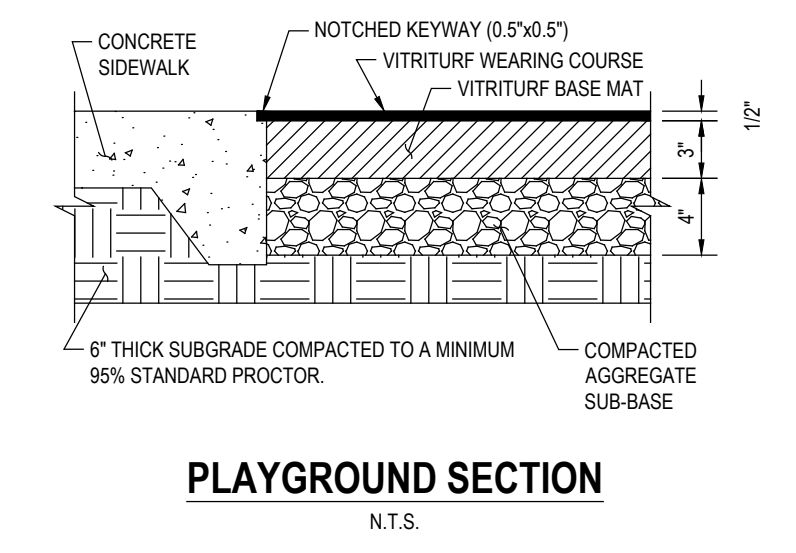
**PAVING LEGEND**

FIRE LANE CONCRETE PAVEMENT	[Symbol]
SIDEWALK CONCRETE PAVEMENT	[Symbol]
10' PUBLIC R.O.W. CONCRETE PAVEMENT	[Symbol]
PLAYGROUND SECTION (VITRITURF)	[Symbol]

**LEGEND**

PROPERTY LINE	[Symbol]
ADJACENT PROPERTY LINE	[Symbol]
EASEMENT LINE	[Symbol]
EXISTING SANITARY SEWER LINE	[Symbol]
EXISTING WATER LINE	[Symbol]
EXISTING STORM LINE	[Symbol]
EXISTING UNDERGROUND ELECTRIC	[Symbol]
EXISTING OVERHEAD ELECTRIC	[Symbol]
PROPOSED FIRE LANE	[Symbol]
PROPOSED SANITARY SEWER LINE	[Symbol]
PROPOSED WATER LINE	[Symbol]
PROPOSED STORM LINE	[Symbol]
PROPOSED ROOF DRAIN LINE	[Symbol]
PROPOSED RETAINING WALL	[Symbol]
PROPOSED FENCE	[Symbol]
PROPOSED SCREEN WALL	[Symbol]
PARKING COUNT	[Symbol]

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
  - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURE PLANS FOR EXACT BUILDING DIMENSIONS.
  - FIRE LANE IS TO BE STRIPED IN ACCORDANCE WITH CITY STANDARDS.
  - ALL ADA ROUTES AND RAMPS ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
  - ADA PARKING SPACES AND LOADING ZONES ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
  - CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
  - MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED.



**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE ROCKWALL PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, 2020.

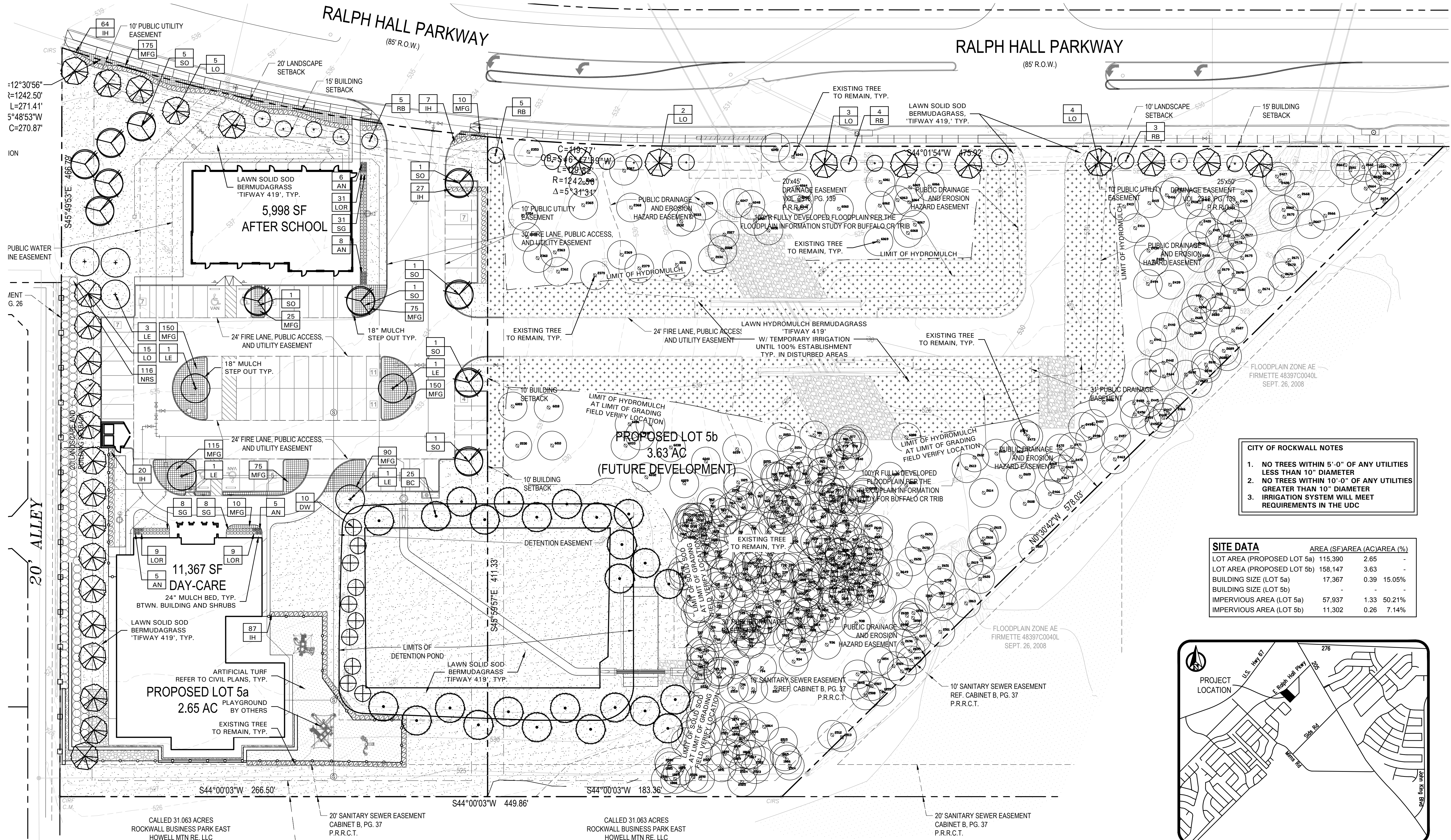
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, 2020.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING & ZONING

**PROJECT NAME:** PINNACLE MONTESSORI ROCKWALL  
**EXISTING LEGAL DESCRIPTION:** LOT 5, ROCKWALL BUSINESS PARK EAST  
**CASE NUMBER:** SP2020-006  
**CURRENT OWNER:** DALLAS EAST, ATTN: JIM VAUDAGNA  
 1445 W SAN CARLOS ST.  
 SAN JOSE, CA 95126  
**DEVELOPER:** EPSILON LAND DEVELOPMENT, MELISSA BLACK  
 811 S. CENTRAL EXPRESSWAY, #306  
 RICHARDSON, TX 75080

**Lakeside Kids, LLC**  
 5909 Beth Drive  
 Plano, TX 75093

**PINNACLE MONTESSORI  
 ACADEMY ROCKWALL**  
 950 E. AND 962 E. RALPH HALL PARKWAY AND PLAZA  
 DRIVE  
 ROCKWALL, TEXAS 75032



∠=12°30'56"  
 ∠=1242.50'  
 L=271.41'  
 5°48'53"W  
 C=270.87'

ION

PUBLIC WATER  
 LINE EASEMENT

MENT  
 G. 26

20' ALLEY

5,998 SF  
 AFTER SCHOOL

11,367 SF  
 DAY-CARE

PROPOSED LOT 5a  
 2.65 AC  
 PLAYGROUND  
 BY OTHERS

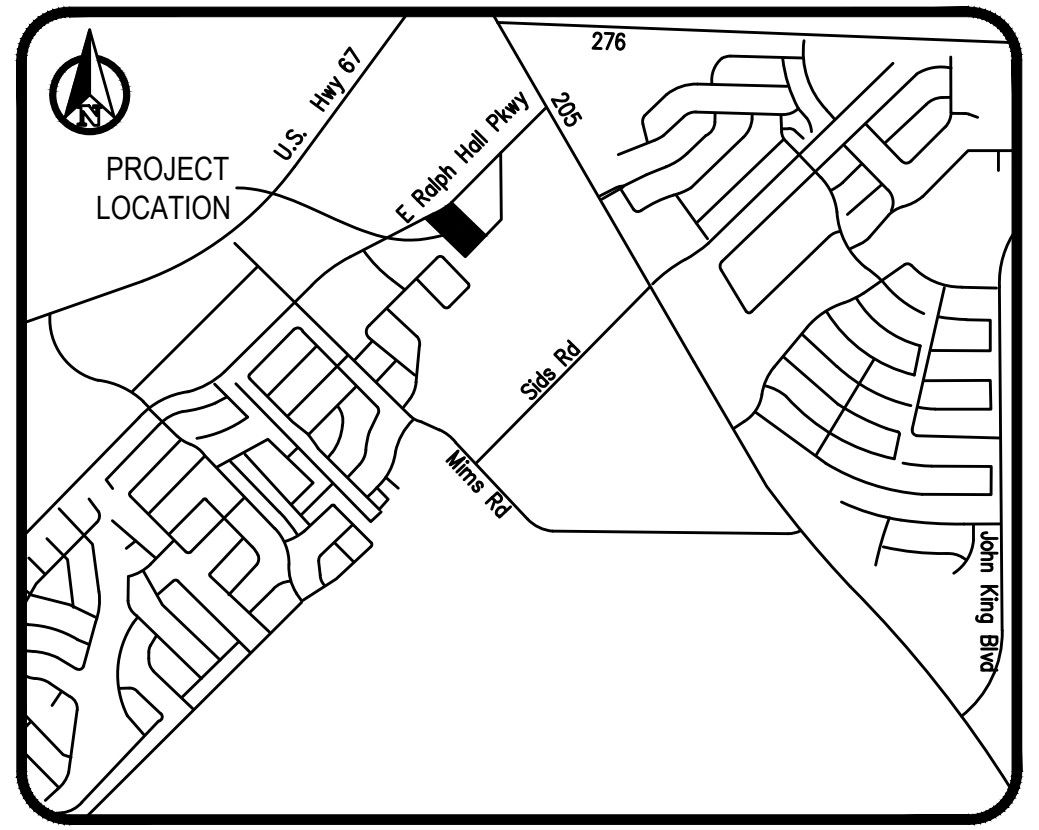
PROPOSED LOT 5b  
 3.63 AC  
 (FUTURE DEVELOPMENT)

**CITY OF ROCKWALL NOTES**

- NO TREES WITHIN 5'-0" OF ANY UTILITIES LESS THAN 10" DIAMETER
- NO TREES WITHIN 10'-0" OF ANY UTILITIES GREATER THAN 10" DIAMETER
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

**SITE DATA**

	AREA (SFI)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

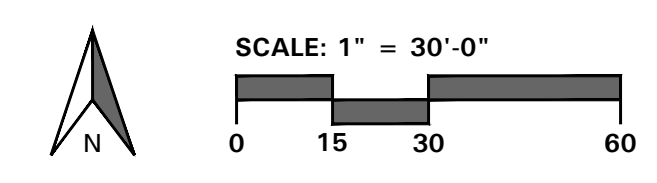


**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	TYPE	QTY.	SIZE	REMARKS
<b>TREES</b>						
BC	<i>Taxodium distichum</i>	Bald Cypress	Canopy	25	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
DW	<i>Desert Willow</i>	Desert Willow	Accent	10	30 gal.	container grown, 3-5 trunk, 8' ht. min., 4' spread min.
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	Canopy	7	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	Canopy	29	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
RB	<i>Carcis canadensis 'Oklahoma'</i>	Oklahoma Redbud	Accent	17	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	Canopy	11	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
<b>SHRUBS/GROUND COVER</b>						
AN	<i>Juniperus tobrata 'Andorra'</i>	Andorra Juniper		24	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica 'Clara'</i>	Indian Hawthorne 'Clara'		205	5 gal.	container full, 24" spread, 36" o.c.
LOR	<i>Loropetalum chinensis 'Plum Delight'</i>	Loropetalum 'Plum Delight'		49	3 gal.	container full, 18" spread, 24" o.c.
NRS	<i>Ilex spp. 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly		116	7 gal.	container full to base, 36" ht., 60" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass		875	1 gal.	container full, 24" o.c.
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii 'Red'		47	5 gal.	container full, 20" spread 24" o.c. refer to notes
	<i>Cynodon dactylon x C. transvaalensis</i>	Tahoma 31 Bermudagrass				
				Total Canopy Trees:	72	
				Total Accent Trees:	27	

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.  
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.  
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

**PROJECT NAME:** PINNACLE MONTESSORI ROCKWALL  
**EXISTING LEGAL DESCRIPTION:** LOT 5A, ROCKWALL BUSINESS PARK EAST  
**CASE NUMBER:** P2022-006  
**CURRENT OWNER:** BUFFALO COUNTRY PROPERTIES LLC,  
 ATTN: RAJESH MALVIYA  
 12050 RESEARCH ROAD, #9305  
 FRISCO, TX 75033  
**DEVELOPER:** SRC LAND BUILDING AND REAL ESTATE LLC  
 811 S. CENTRAL EXPRESSWAY, SUITE 306  
 RICHARDSON, TX 75080

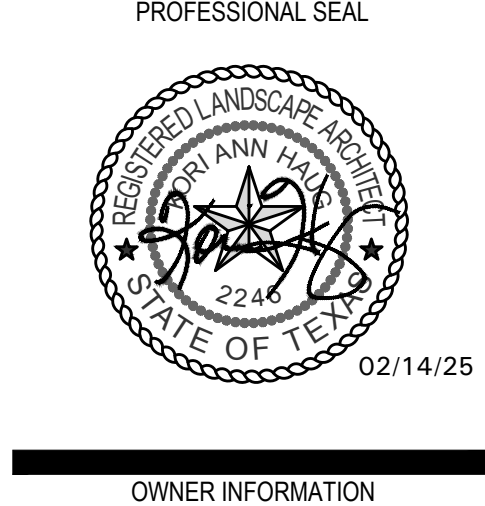


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 TBPE FIRM NO. F-20145

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**Lakeside Kids, LLC**  
 5909 Beth Drive  
 Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI  
 ACADEMY ROCKWALL**  
 E. RALPH HALL PARKWAY AND PLAZA DRIVE  
 ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

**L2.01**

ISSUE DATE: 03-20-2020

**LANDSCAPE NOTES**

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
7. ALL LAWN AREAS SHALL BE SOLID SOD 'TAHOMA 31' BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**GENERAL LAWN NOTES**

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

**SOLID SOD NOTES**

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED 'TAHOMA 31' BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**HYDROMULCH NOTES**

1. CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
2. 'TAHOMA 31' BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
3. FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE' AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
5. HYDROMULCH WITH 'TAHOMA 31' BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
6. USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH 'TAHOMA 31' BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

**LANDSCAPE TABULATIONS - Lot 5a**  
*THE CITY OF ROCKWALL, TEXAS*

- NON-RESIDENTIAL R.O.W. BUFFER**
1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) i.f. and one accent tree per (50) i.f., to include groundcover, berm, and shrubbery
- RALPH HALL PARKWAY: 272 i.f.  
Required Provided  
10' wide buffer 20' wide buffer  
(5) trees, 4" cal. (5) trees, 4" cal.  
(5) accent trees (5) accent trees
- RESIDENTIAL BUFFER**
1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) i.f. and two (2) rows of large shrubs.
- Residential Adjacency: 320 i.f.  
Required Provided  
20' wide buffer 20' wide buffer  
(16) trees, 4" cal. (16) trees, 4" cal.  
double of large shrubs double row of large shrubs
- PARKING LOT LANDSCAPING**
1. Five (5%) percent of the interior parking lot shall be landscape.  
2. One tree per ten (10) spaces for lots over 20,000 s.f.
- Total interior parking lot area: 23,764 s.f.  
Total parking spaces: 61 spaces
- Required Provided  
1,188 s.f. (5%) 5,104 s.f.  
(7) trees, 4" cal. (12) trees, 4" cal.

- SITE LANDSCAPING**
1. Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.  
2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.
- Total site: 273,538 s.f.
- Required Provided  
41,031 s.f. (15%) 56,069 s.f. (20%)  
20,516 s.f. (50%) 24,603 s.f. (60%)

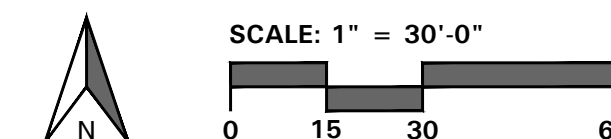
- DETENTION BASIN LANDSCAPING**
1. One (1) canopy tree and (1) accent tree per 750 s.f. of dry area.
- Detention Basin Area: 8,051 s.f.
- Required Provided  
(10) trees, 4" cal. (10) trees, 4" cal.  
(10) accent trees (10) accent trees

**LANDSCAPE TABULATIONS - Lot 5b**  
*THE CITY OF ROCKWALL, TEXAS*

- NON-RESIDENTIAL R.O.W. BUFFER**
1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) i.f. and one accent tree per (50) i.f.
- RALPH HALL PARKWAY: 596 i.f.  
Required Provided  
10' wide buffer 10' wide buffer  
(12) trees, 4" cal. (9) trees, 4" cal.  
(12) accent trees (12) accent trees  
(3) existing trees (3) existing trees

**CITY OF ROCKWALL NOTES**

1. NO TREES WITHIN 5'-0" OF ANY UTILITIES LESS THAN 10" DIAMETER
2. NO TREES WITHIN 10'-0" OF ANY UTILITIES GREATER THAN 10" DIAMETER
3. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

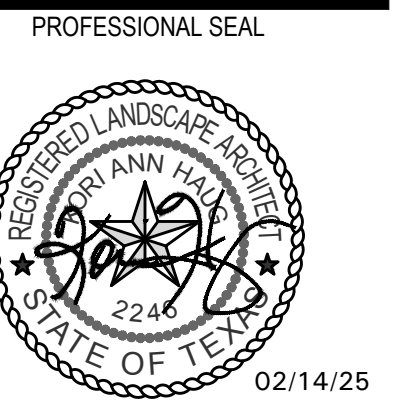


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TPBE FIRM NO. F-20145

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OWNER INFORMATION

**Lakeside Kids, LLC**  
5909 Beth Drive  
Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI  
ACADEMY ROCKWALL**  
E. RALPH HALL PARKWAY AND PLAZA DRIVE  
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE NOTES

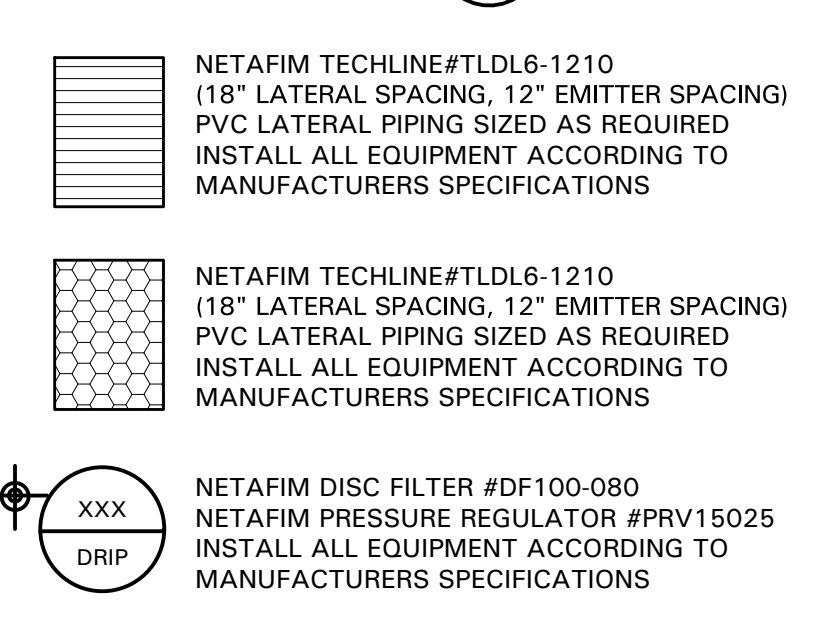
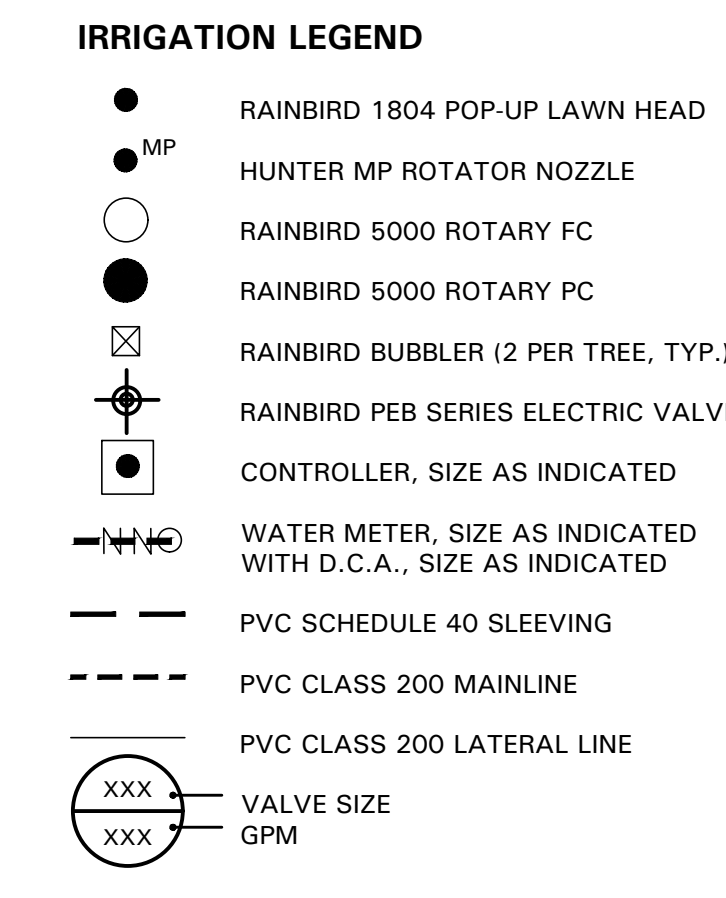
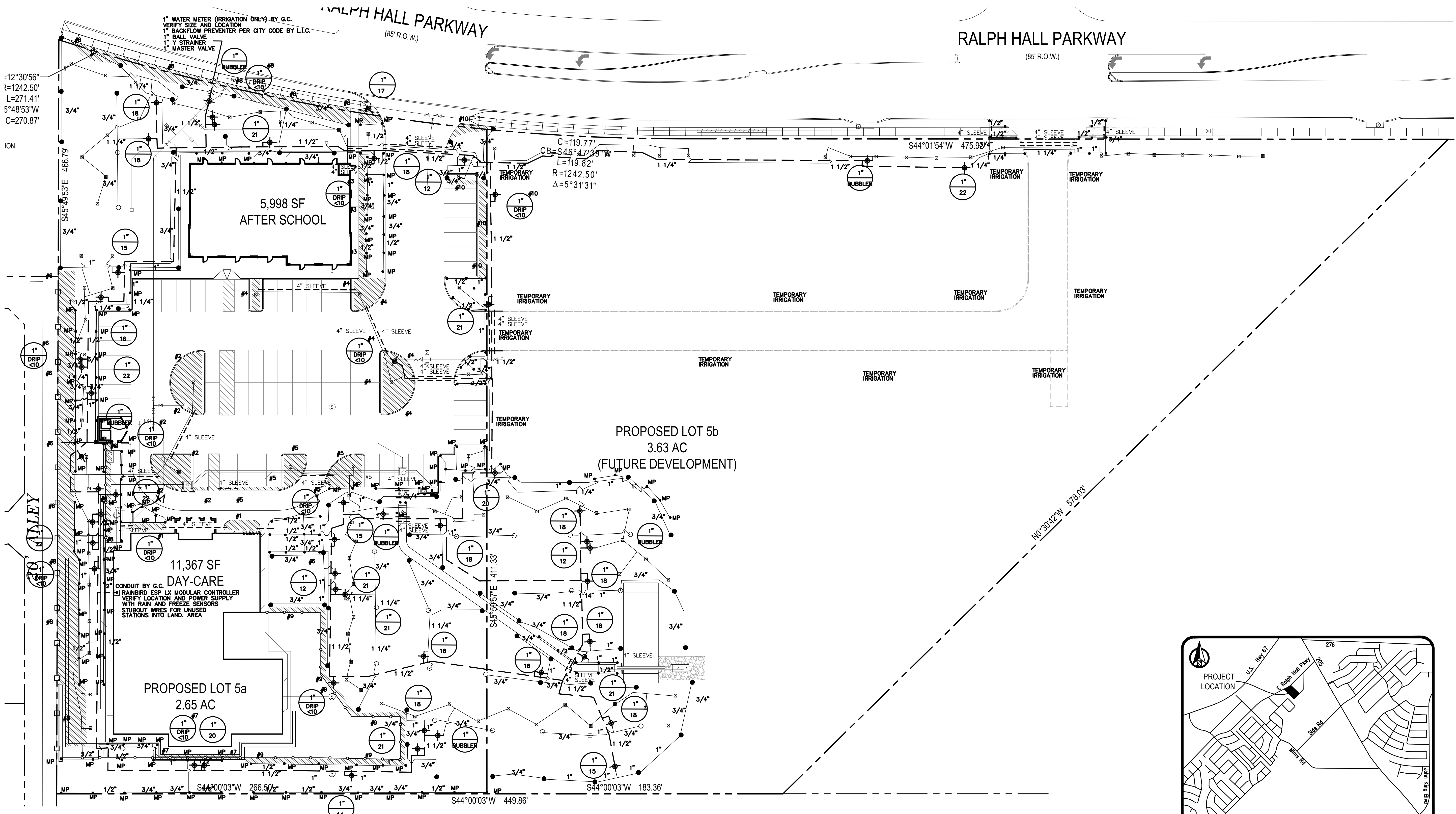
SHEET NUMBER

**L2.02**

ISSUE DATE: 03-20-2020

PROJECT NUMBER: PM4032



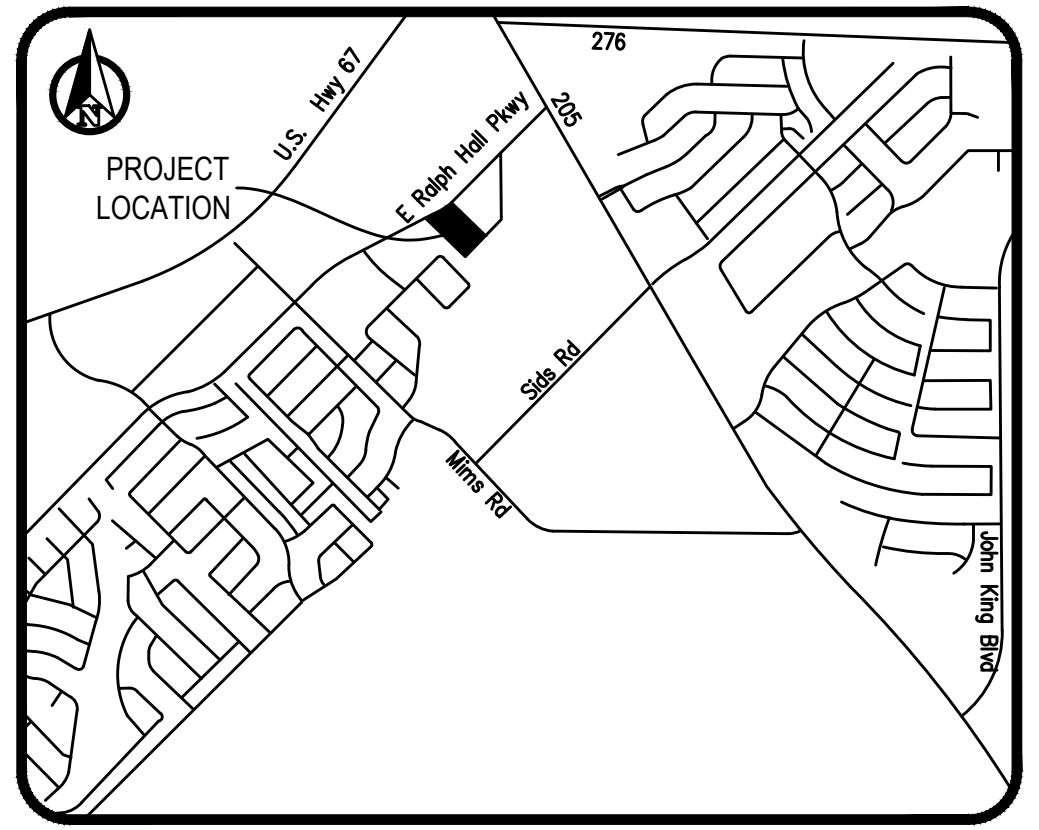
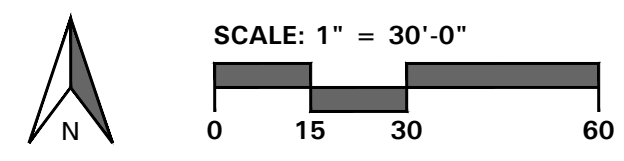


**BUBBLER PIPING CHART**

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	3/4"
6 - 10	1"
11 - 20	1 1/4"
21 - 30	1 1/2"
31 - 40	2"

- IRRIGATION NOTES**
- THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
  - ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE RAINBIRD EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
  - TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.

- ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
- AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER. LOCATION BY OTHER TRADES, RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
- THE DESIGN PRESSURE IS 65 PSI.
- ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
- IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
- TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.
- NOZZLES SHALL BE RAINBIRD PLASTIC, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
- ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
- ELECTRIC CONTROL VALVES SHALL BE RAINBIRD PEB INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.



<b>PROJECT NAME:</b>	PINNACLE MONTESSORI ROCKWALL
<b>EXISTING LEGAL DESCRIPTION:</b>	LOT 5A, ROCKWALL BUSINESS PARK EAST
<b>CASE NUMBER:</b>	P2022-006
<b>CURRENT OWNER:</b>	BUFFALO COUNTRY PROPERTIES LLC, ATTN: RAJESH MALVIYA 12050 RESEARCH ROAD, #9305 FRISCO, TX 75033
<b>DEVELOPER:</b>	SRC LAND BUILDING AND REAL ESTATE LLC 811 S. CENTRAL EXPRESSWAY, SUITE 306 RICHARDSON, TX 75080

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PROFESSIONAL SEAL

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SHEET TITLE

**IRRIGATION  
PLAN**

SHEET NUMBER

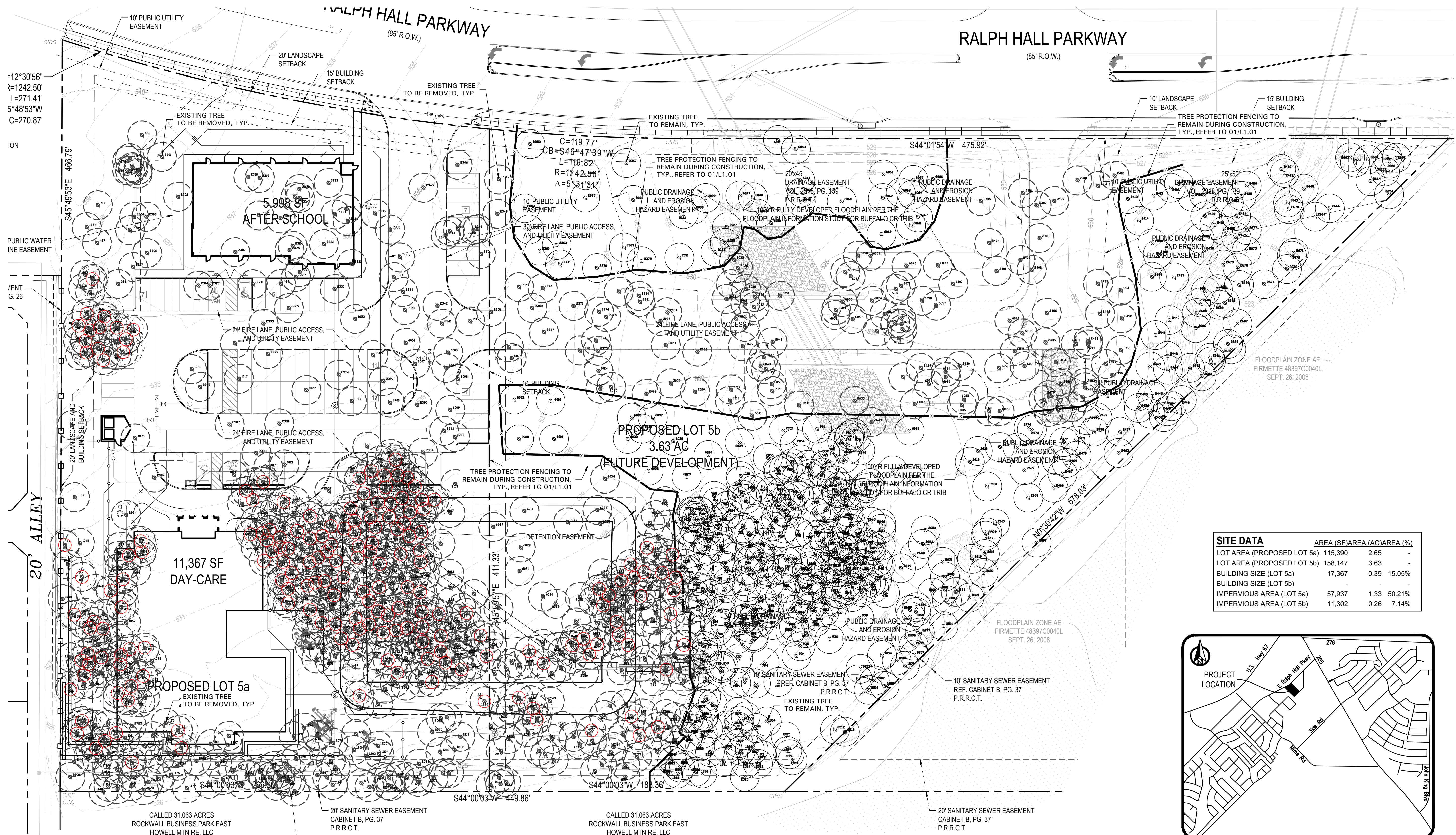
**L3.01**

ISSUE DATE: 03-20-2020

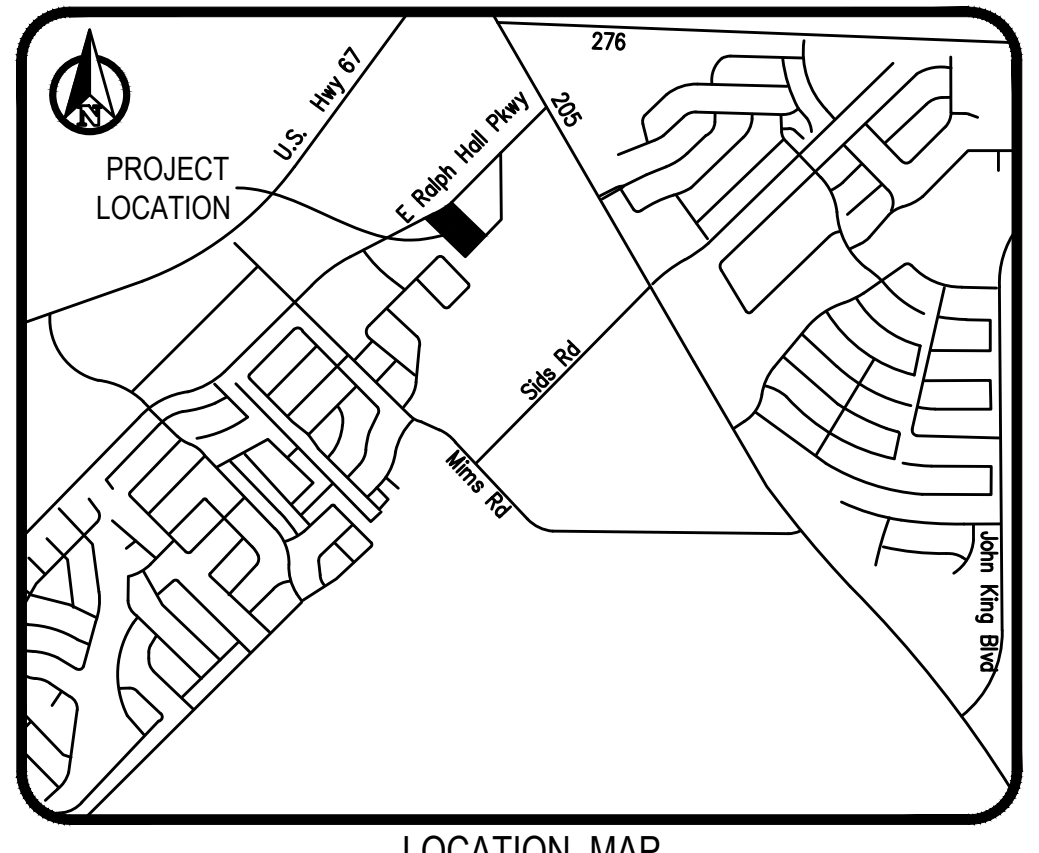
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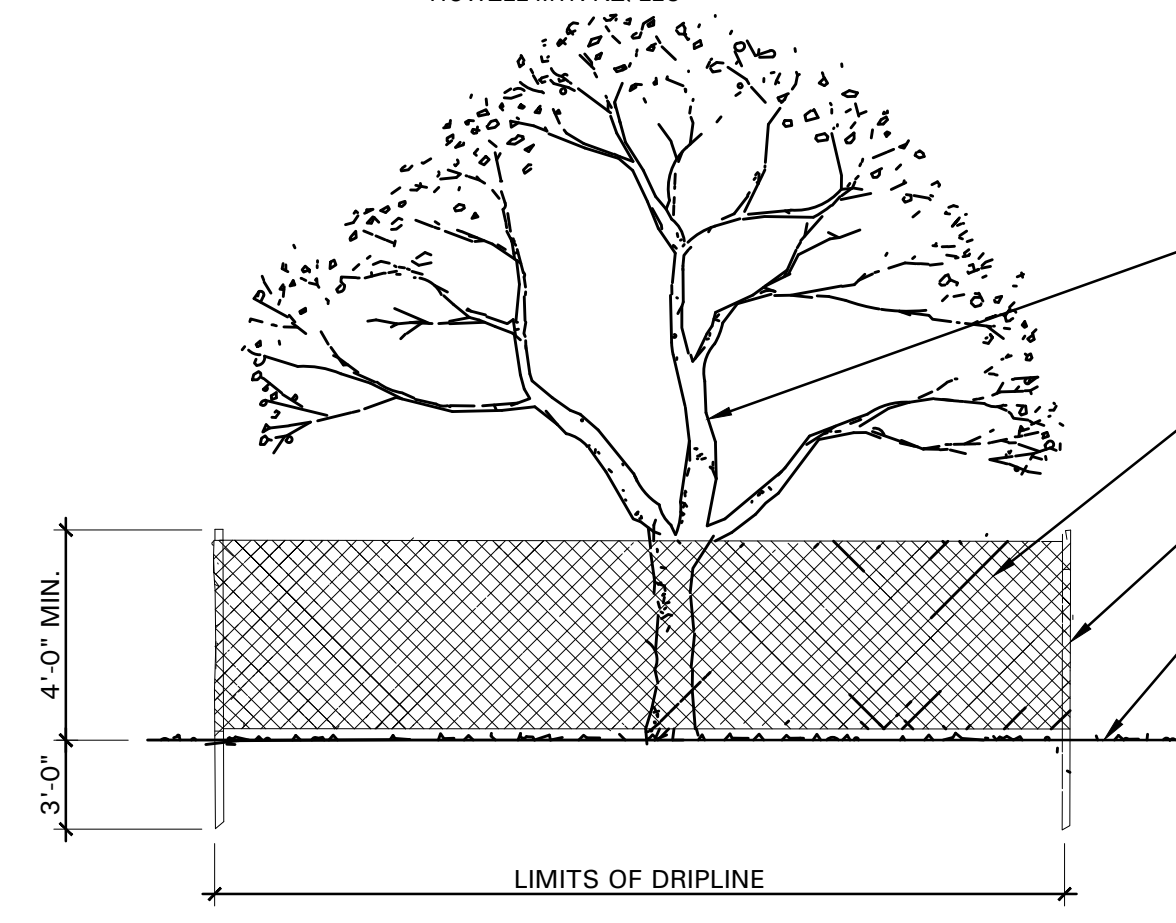


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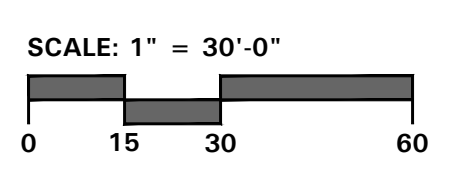
**TREE PRESERVATION NOTES**

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



- EXISTING TREE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED
  - 8' CLEARANCE
  - EXISTING TREE WITHIN 8' OF TREE TO BE REMOVED \*NO MITIGATION REQUIRED
  - TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01

<b>PROJECT NAME:</b>	PINNACLE MONTESSORI ROCKWALL
<b>EXISTING LEGAL DESCRIPTION:</b>	LOT 5A, ROCKWALL BUSINESS PARK EAST
<b>CASE NUMBER:</b>	P2022-006
<b>CURRENT OWNER:</b>	BUFFALO COUNTRY PROPERTIES LLC, ATTN: RAJESH MALVIYA 12050 RESEARCH ROAD, #9305 FRISCO, TX 75033
<b>DEVELOPER:</b>	SRC LAND BUILDING AND REAL ESTATE LLC 811 S. CENTRAL EXPRESSWAY, SUITE 306 RICHARDSON, TX 75080

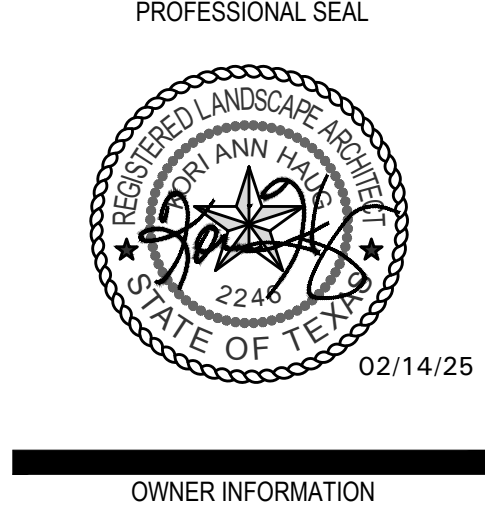


12801 N. Central Expy  
Suite 1760  
Dallas, Texas 75243  
(214) 865-7192

**OMEGA DESIGN, LLC**  
811 S. CENTRAL EXPRESSWAY  
SUITE 306  
RICHARDSON, TX 75080

BPFE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments
5	03.03.22	City Comments
6	08.05.22	City Comments
7	05.17.24	City Comments
8	07.25.24	City Comments
9	08.29.24	City Comments
10	02.14.25	Owner Comments



OWNER INFORMATION

**Lakeside Kids, LLC**  
5909 Beth Drive  
Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI  
ACADEMY ROCKWALL**  
E. RALPH HALL PARKWAY AND PLAZA DRIVE  
ROCKWALL, TEXAS

SHEET TITLE

**TREE PRESERVATION PLAN**

SHEET NUMBER

**L1.01**

ISSUE DATE: 03-20-2020











# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission

**FROM:** Henry Lee, *Senior Planner*

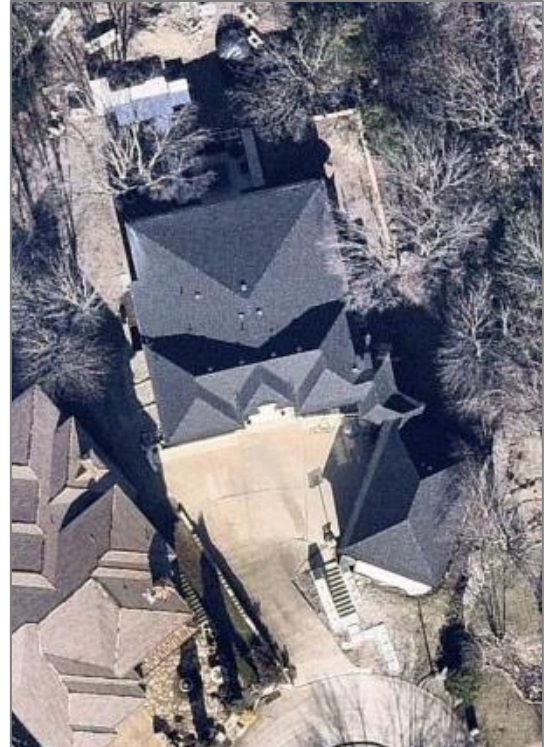
**DATE:** March 25, 2025

**SUBJECT:** MIS2025-006; *Exception Request for Synthetic Plant Materials at 304 Shamrock Circle*

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On March 10, 2025, the Building Inspection Department engaged Daniel Melendez -- *the property owner at 304 Shamrock* --, concerning the the installation of artificial turf without a building permit. In response to this, the property owner applied for an *Exception* request on March 14, 2025. In accordance with Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the applicant was required to pay a \$1,000.00 non-compliant structure fee in addition to the development application fee for performing work without the required building permits.

According to Section 4(B), *Prohibited Planting Materials*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(a)rtificial or synthetic plant materials (e.g. *artificial grass, turf, trees, and/or shrubs*) shall be prohibited on all residentially zoned or used property in: [1] the required front yard (i.e. *the area that extends from the front property line to the front façade of the primary structure*); [2] in areas of the required side or rear yard that are visible from public right-of-way, open space, or public parkland; [3] in public rights-of-way; and [4] in easements; however, a maximum of 400 square feet of non-PFAS (i.e. *Perfluorinated Alkylated Substances*) artificial grass or turf shall be permitted in the rear yard of all residentially zoned or used property regardless of visibility or screening.” In this case, the applicant is requesting an exception to item [2], due to the artificial turf being visible from open space in the side yard and there being greater than 400 SF in the rear yard. Based on the proposed site plan there is approximately 2,261 SF of artificial turf within the rear and side yard of the subject property [see *Figure 1*].



**FIGURE 1.** THE SUBJECT PROPERTY AT 304 SHAMROCK CIRCLE.

According to Subsection 02.02, *Exceptions to the Landscaping Standards*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(t)he Planning and Zoning Commission may grant an exception to the landscaping standards contained in this Article [i.e. *Article 08; UDC*] upon a finding that the resulting landscaping or Landscaping Plan will be equivalent to or exceed the requirements stipulated by this Article, and provide an improvement to the aesthetics of the surrounding area.” In addition, in accordance with Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), variances and exceptions shall be reviewed on a case by case basis and shall require a “...*supermajority vote (i.e. a three-fourths vote of those members present)*, with a minimum of four (4) votes in the affirmative required for approval.” Staff should note that there is ten (10) foot utility easements along the rear of the subject property. According to Section 4.02, *Coverage*, of Chapter 4, *Vegetation*, of the Engineering Standards of Design and Construction, “(n)o artificial grass is allowed in any City right-of-way and/or easements.” Given this, the applicant will be required to remove all of the artificial turf located within this utility easement. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on March 25, 2025.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/21/2025

PROJECT NUMBER: MIS2025-006  
PROJECT NAME: Exception for Artificial Turf at 304 Shamrock Circle  
SITE ADDRESS/LOCATIONS: 304 SHAMROCK CIR

CASE CAPTION: Discuss and consider a request by Daniel Melendez for the approval of a Miscellaneous Request for an Exception to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40], addressed as 304 Shamrock Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. No artificial grass/turf in easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved w/ Comments

03/20/2025: TURF IS NOT ALLOWED IN UTILITY EASEMENTS OR ACROSS THEIR PROPERTY LINE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/21/2025	Approved w/ Comments

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)



I.1 This is a request for the approval of a Miscellaneous Case for an Exception to allow synthetic plant materials on a 0.1230-acre parcel of land identified as Lot 12, Block A, Chandlers Landing, Phase 14, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) (Ordinance No. 23-40), addressed as 304 Shamrock Circle.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434, or email hlee@rockwall.com.

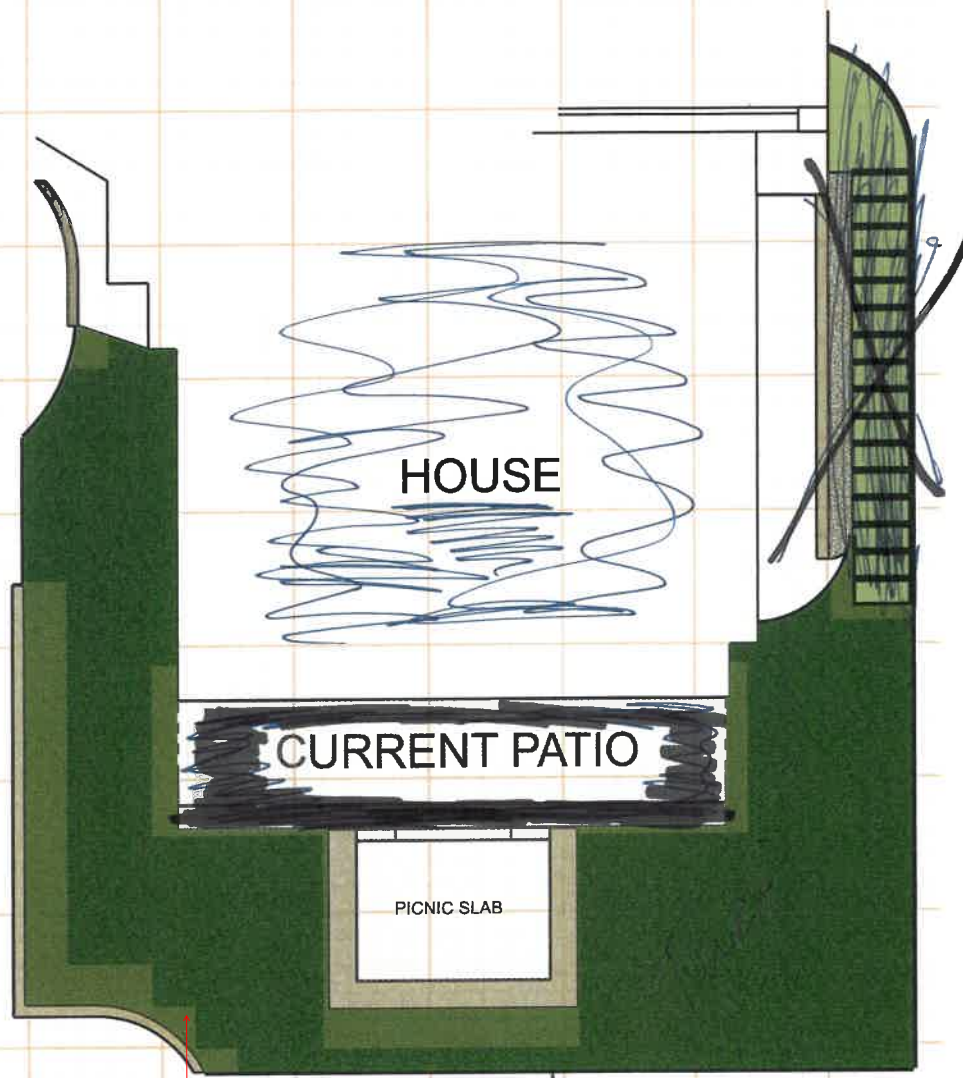
I.3 According to Section 4(B), Prohibited Planting Materials, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees, and/or shrubs) shall be prohibited on all residentially zoned or used property in: (1) the required front yard (i.e. the area that extends from the front property line to the front façade of the primary structure); (2) in areas of the required side or rear yard that are visible from public right-of-way, open space, or public parkland; (3) in public rights-of-way; and (4) in easements; however, a maximum of 400 square feet of non-PFAS (i.e. Perfluorinated Alkylated Substances) artificial grass or turf shall be permitted in the rear yard of all residentially zoned or used property regardless of visibility or screening." In this case, you are requesting an exception to items (2) and (4) listed above, due to the artificial turf being visible from open space in the side yard and there being greater than 400 SF in the rear yard.

M.4 According to Section 4.02, Coverage, of Chapter 4, Vegetation, of the Engineering Standards of Design and Construction, "(n)o artificial grass is allowed in any City right-of-way and/or easements." In this case, the artificial turf that has been installed in the easement at the rear of the property must be removed.

I.5 Please note the scheduled meeting for this case:

1) Planning & Zoning meeting will be held on March 25, 2025 at 6:00 PM in the council chambers at City Hall.

I.6 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request.



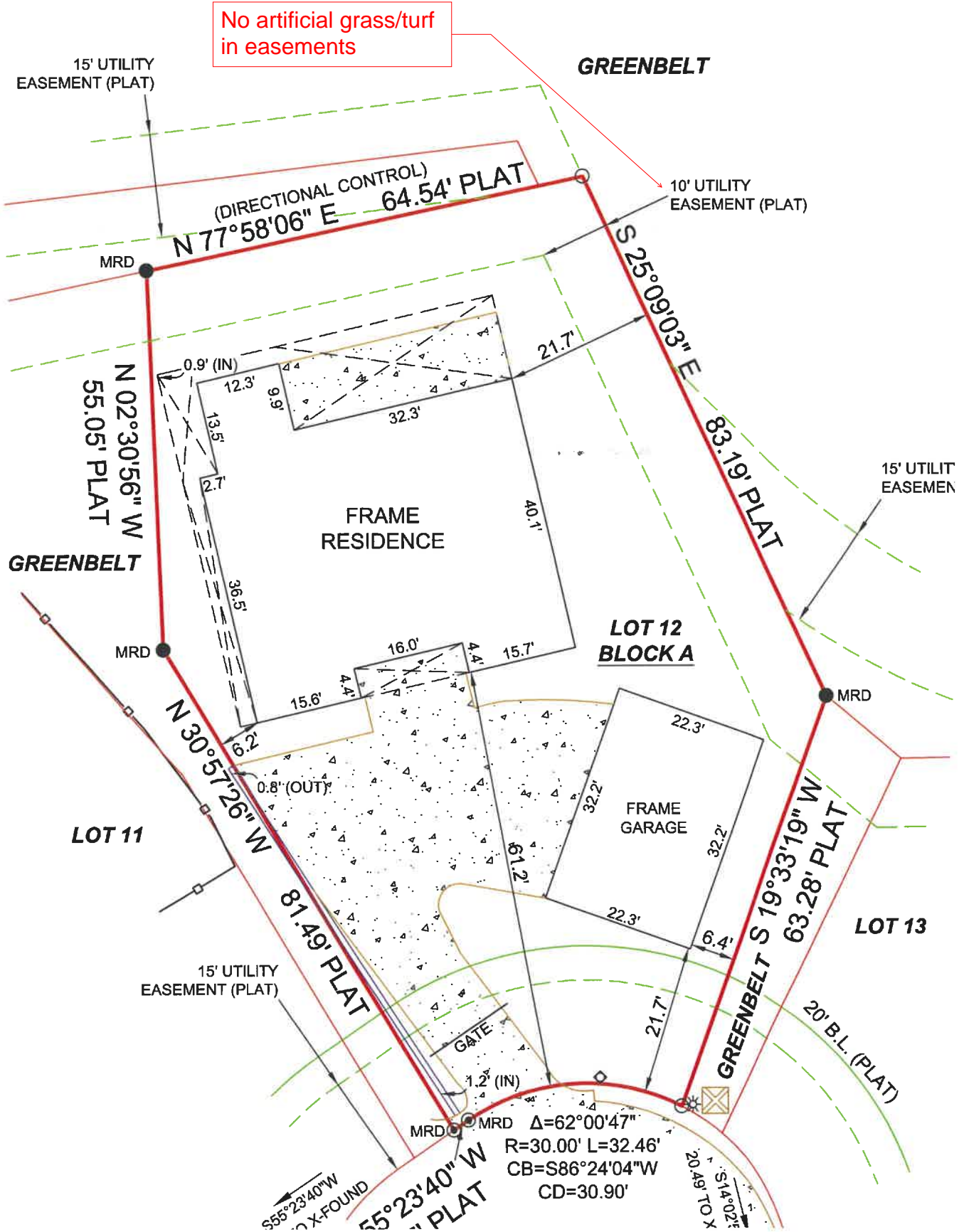
EROSION  
GREEN BELT



No artificial grass/turf  
in easements

# SURVEY PLAT: 304 SHAMROCK CIRCLE

Being Lot 12, Block A, of CHANDLERS LANDING PHASE 14, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Slide 249, Map Records, Rockwall County, Texas.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 304 SHAMROCK CIR

SUBDIVISION CHANDLERS LANDING #14 LOT 12 BLOCK A

GENERAL LOCATION PROPERTY ID: 15291 ; CITY OF ROCKWALL, ROCKWALL, TEXAS

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL

CURRENT USE Play Area for children,

PROPOSED ZONING RESIDENTIAL

PROPOSED USE Play Area for children, EROSION PREVENTION, GRASS

ACREAGE < 1

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON DANIEL MELENDEZ

CONTACT PERSON \_\_\_\_\_

ADDRESS 304 SHAMROCK CIR

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP \_\_\_\_\_

PHONE 469-818-9139

PHONE \_\_\_\_\_

E-MAIL DMQ064@outlook.com

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Panie Melendez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF March 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

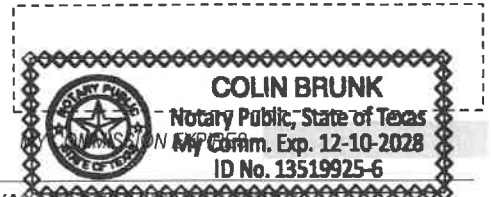
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF March, 2025.

OWNER'S SIGNATURE

[Signature]

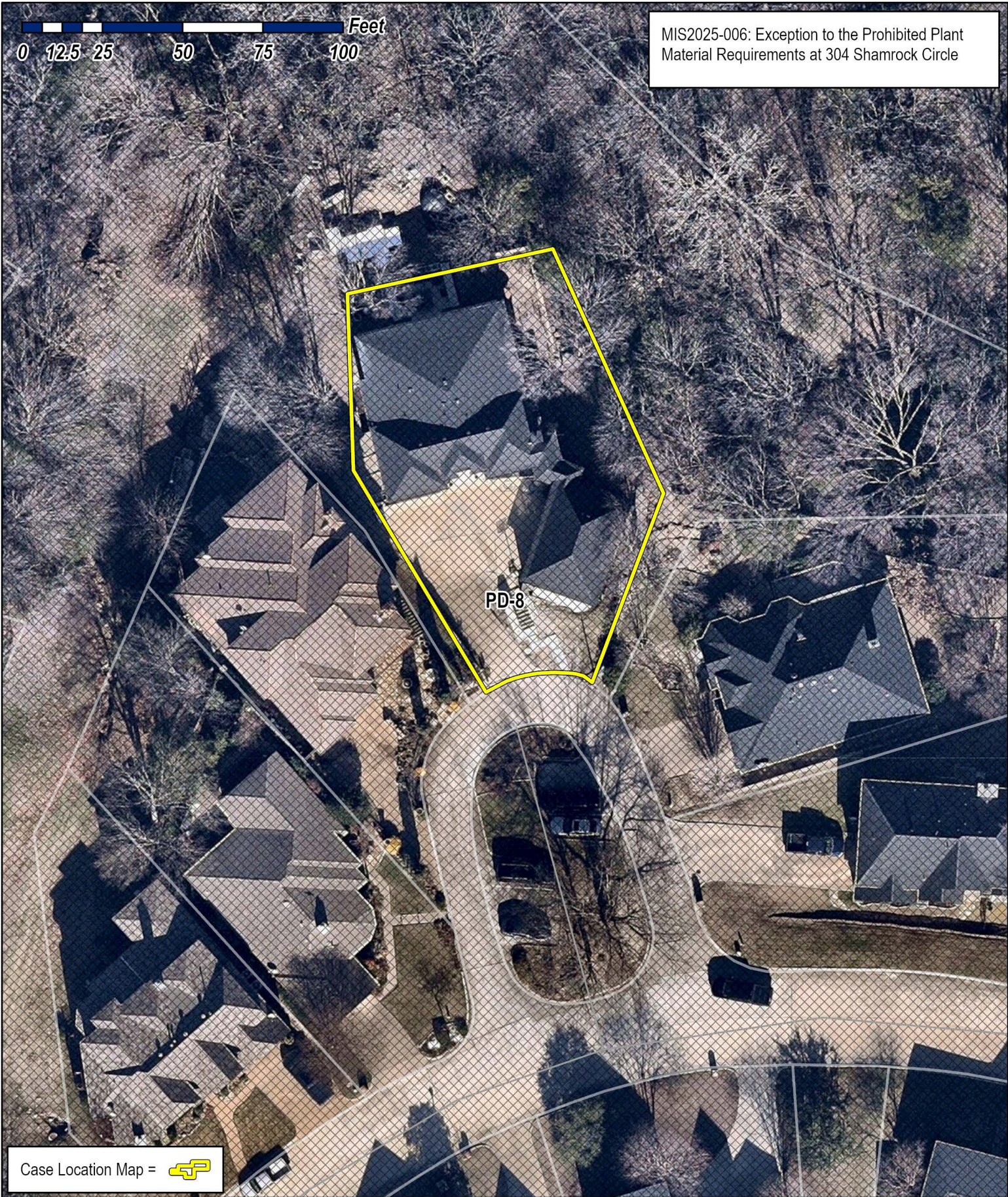
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


[Signature]





MIS2025-006: Exception to the Prohibited Plant Material Requirements at 304 Shamrock Circle



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Top 5 Reasons for implementing Artificial Turf:**

**1) Erosion prevention**

- a. Given the rainfall and type of soil, erosion had been significant and ultimately would have caused structural damage to the home

**2) Sustain a suitable play area for our children**

- a. Given natural grass could not grow, the area was immersed with mud and in turn, causing an unsafe area for children to play

**3) Sustain a leveled landscape**

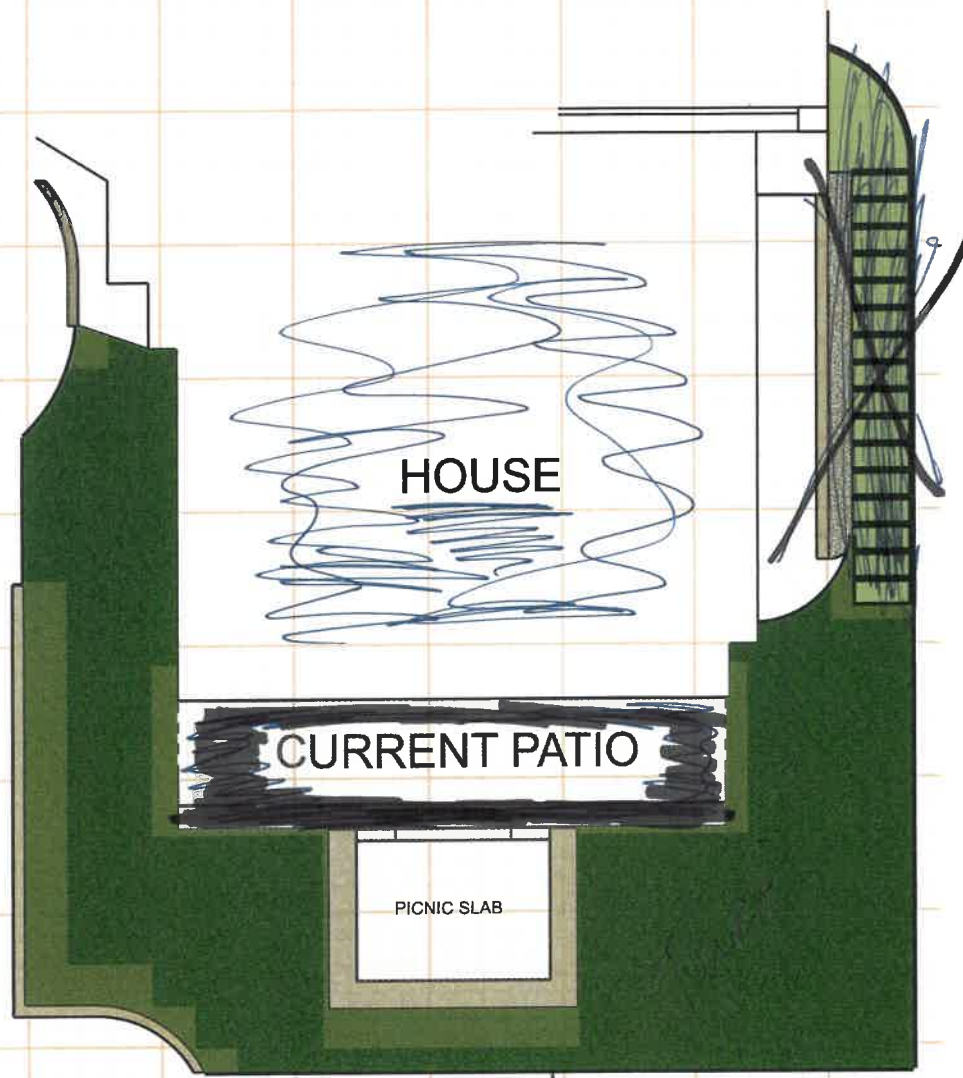
- a. Given the rainfall and erosion, the landscape was unlevelled and in turn, caused an unsafe environment for children to play

**4) Medical**

- a. Allergies

**5) Sustain/maintain an aesthetically pleasing looking backyard**

- a. Given natural grass could not grow, the area was immersed with mud

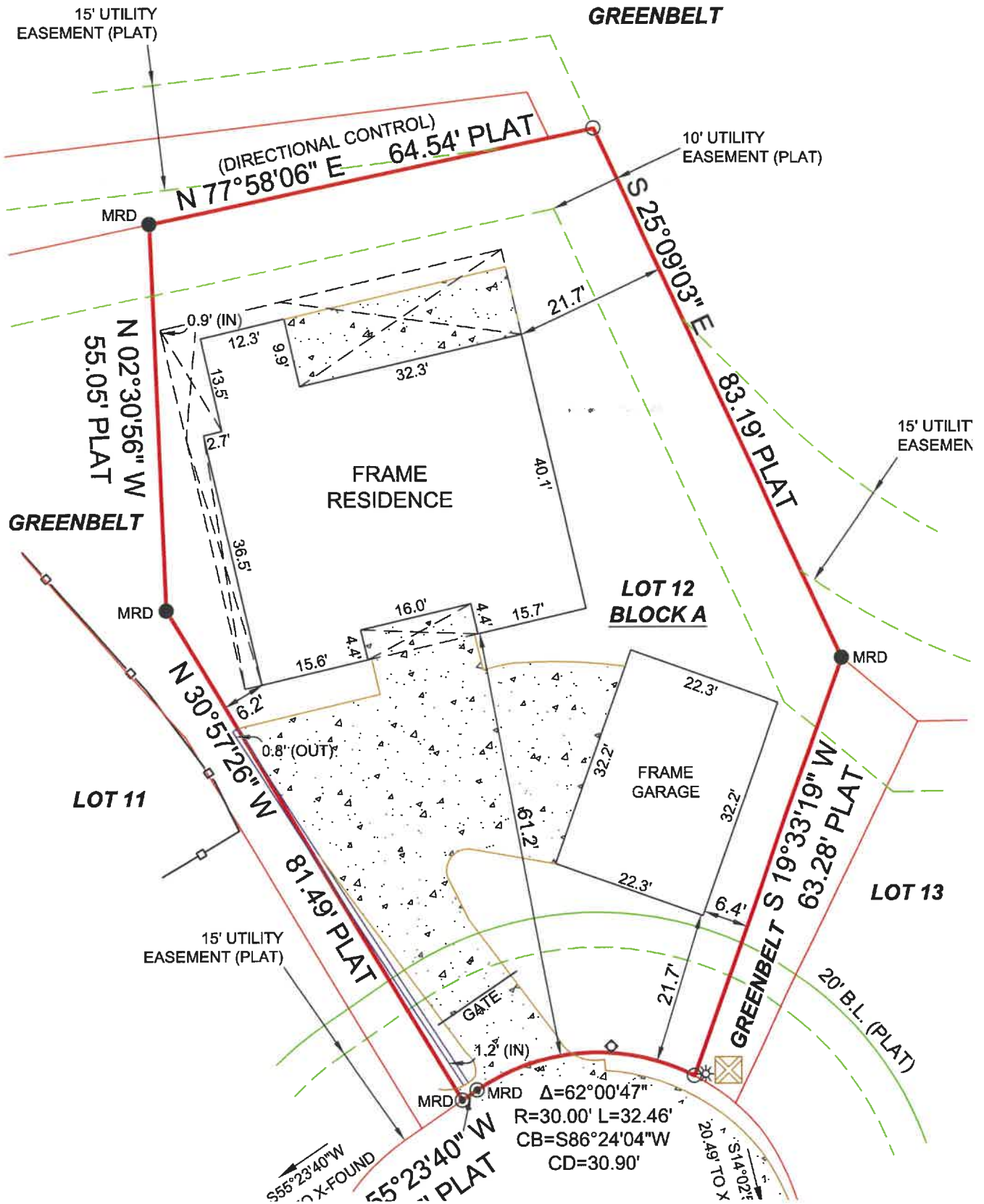


EROSION  
CONTROL BELT

Three hand-drawn arrows pointing away from the "EROSION CONTROL BELT" text: one pointing left, one pointing down and to the left, and one pointing down.

# SURVEY PLAT: 304 SHAMROCK CIRCLE

Being Lot 12, Block A, of CHANDLERS LANDING PHASE 14, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Slide 249, Map Records, Rockwall County, Texas.





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: Z2025-012  
PROJECT NAME: SUP for Residential Infill at 614 Boydston Avenue  
SITE ADDRESS/LOCATIONS: 614 E BOYDSTUN AVE

CASE CAPTION: Hold a public hearing to discuss and consider a request by David Gamez for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	03/20/2025	Approved w/ Comments

03/20/2025: Z2025-012; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 614 Boydston Avenue  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2025-012) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the B.F. Boydston Subdivision which has been in existence for more than ten (10) years, consists of 112 lots, and is considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), development in a Single-Family 7 (SF-7) District calls for the following:

- The minimum length of driveway pavement from public right-of-way for rear and side yard is 20-feet.
- An enclosed garage shall not be considered in meeting the off-street parking requirements.

- A two (2) car garage is required.

In this case, the applicant is proposing to have a carport that is architecturally integrated with the primary structure. However, this will have to be replaced by a two (2) car garage.

I.7 According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), development in a Single-Family 7 (SF-7) District calls for a side setback of six (6) feet. In this case, the site plan provided shows a side setback of only five (5) feet. This will need to be corrected.

1.8 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the home does not incorporate an enclosed garage, only a carport. This will need to be changed on the elevations.

M.9 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1, 2025.

I.10 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.11 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

I.12 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.13 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: 1. Need variance on driveway spacing (requires min. 100' between driveways)

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 8" sewer main along E Boydston Ave available for use.
- There is an existing 12" water main on the other side of E Boydston Ave available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Needs Review

03/20/2025: \* 6' SIDE SETBACK REQUIRED

\* CARPORT NEEDS TO BE SETBACK 20' FEET BEHIND THE FRONT CORNER OF THE HOUSE AND ARCHITECTURALLY INTEGRATED INTO HOUSE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

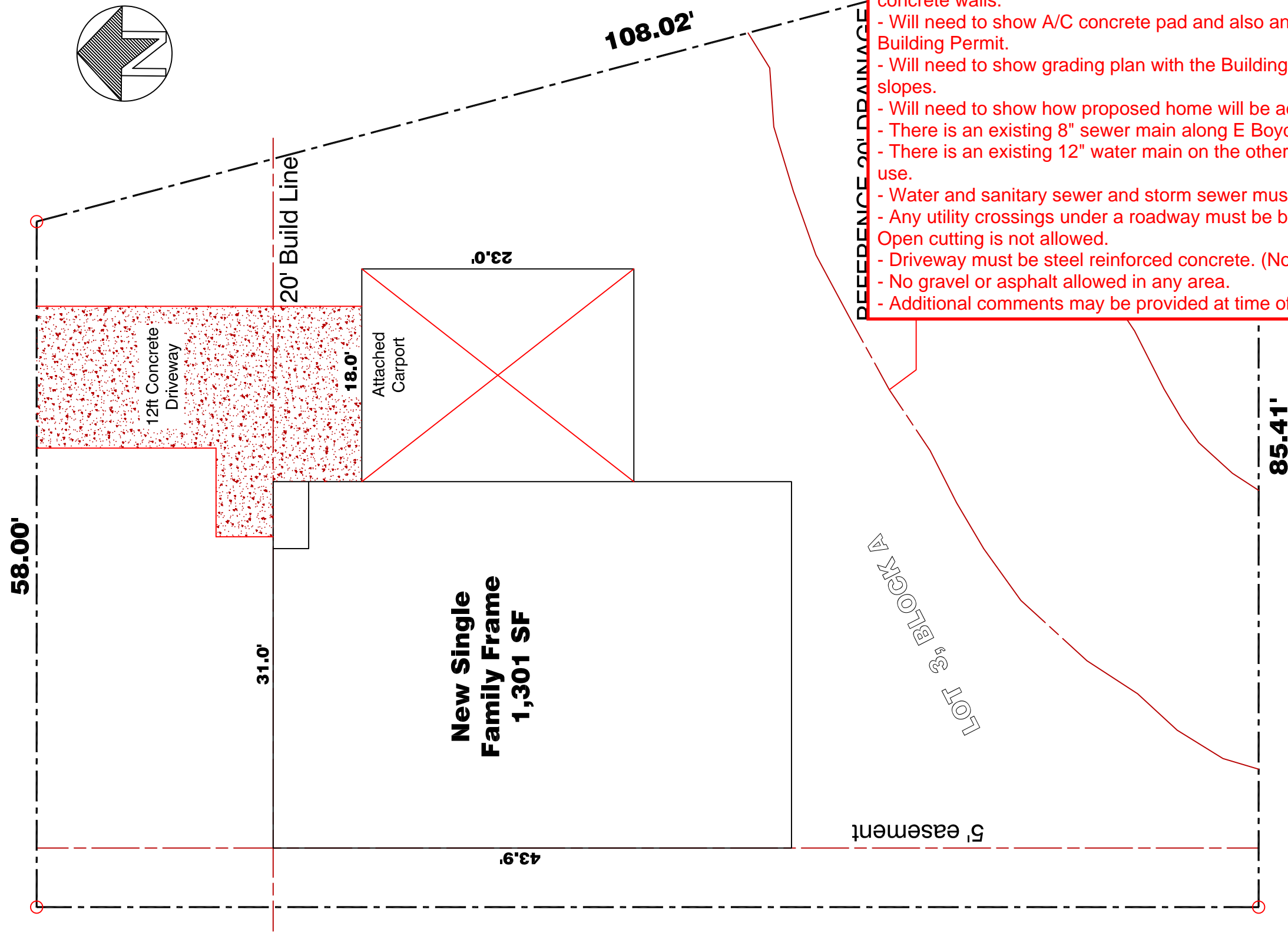
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

No Comments

- Need variance on driveway spacing (requires min. 100' between driveways)

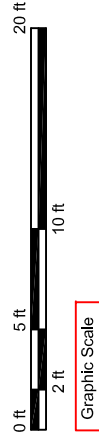
- General Items:**
- Must meet City's 2023 Standards of Design and Construction
  - Impact Fees (Water, Wastewater & Roadway)
  - Retaining walls 3' and over must be engineered.
  - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
  - Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
  - Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
  - Will need to show how proposed home will be accessing utilities.
  - There is an existing 8" sewer main along E Boydston Ave available for use.
  - There is an existing 12" water main on the other side of E Boydston Ave available for use.
  - Water and sanitary sewer and storm sewer must be 10' apart.
  - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
  - Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
  - No gravel or asphalt allowed in any area.
  - Additional comments may be provided at time of Building Permit.

BOYDSTUN AVENUE  
(Measured 50' R.O.W.)



**SITE PLAN**

614 E BOYDSTUN AVE, ROCKWALL TX



Drafting Solutions - Allen, TX (972) 697-6258



New Single Family  
614 E Boydston Ave  
Rockwall, TX 75087

Owners:  
The Gamez family

DRAFTING:  
JHR  
DATE:  
3-10-2025  
PLAN NUMBER:

Plan  
**A0.1**

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 614 E Boydston Rockwall TX 75087  
 SUBDIVISION: BLOCK A OF Rigell's Subdivision LOT 3 BLOCK A  
 GENERAL LOCATION: New Replat Next to 614 E Boydston

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: SF-7 CURRENT USE: SF-7  
 PROPOSED ZONING: PROPOSED USE:  
 ACREAGE: .17 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: DAVID GAMEZ  APPLICANT  
 CONTACT PERSON: CONTACT PERSON:  
 ADDRESS: 614 E Boydston ADDRESS:  
 CITY, STATE & ZIP: Rockwall TX 75087 CITY, STATE & ZIP:  
 PHONE: 972-679-6635 PHONE:  
 E-MAIL: 3boysinschool@gmail.com E-MAIL:

### NOTARY VERIFICATION [REQUIRED]

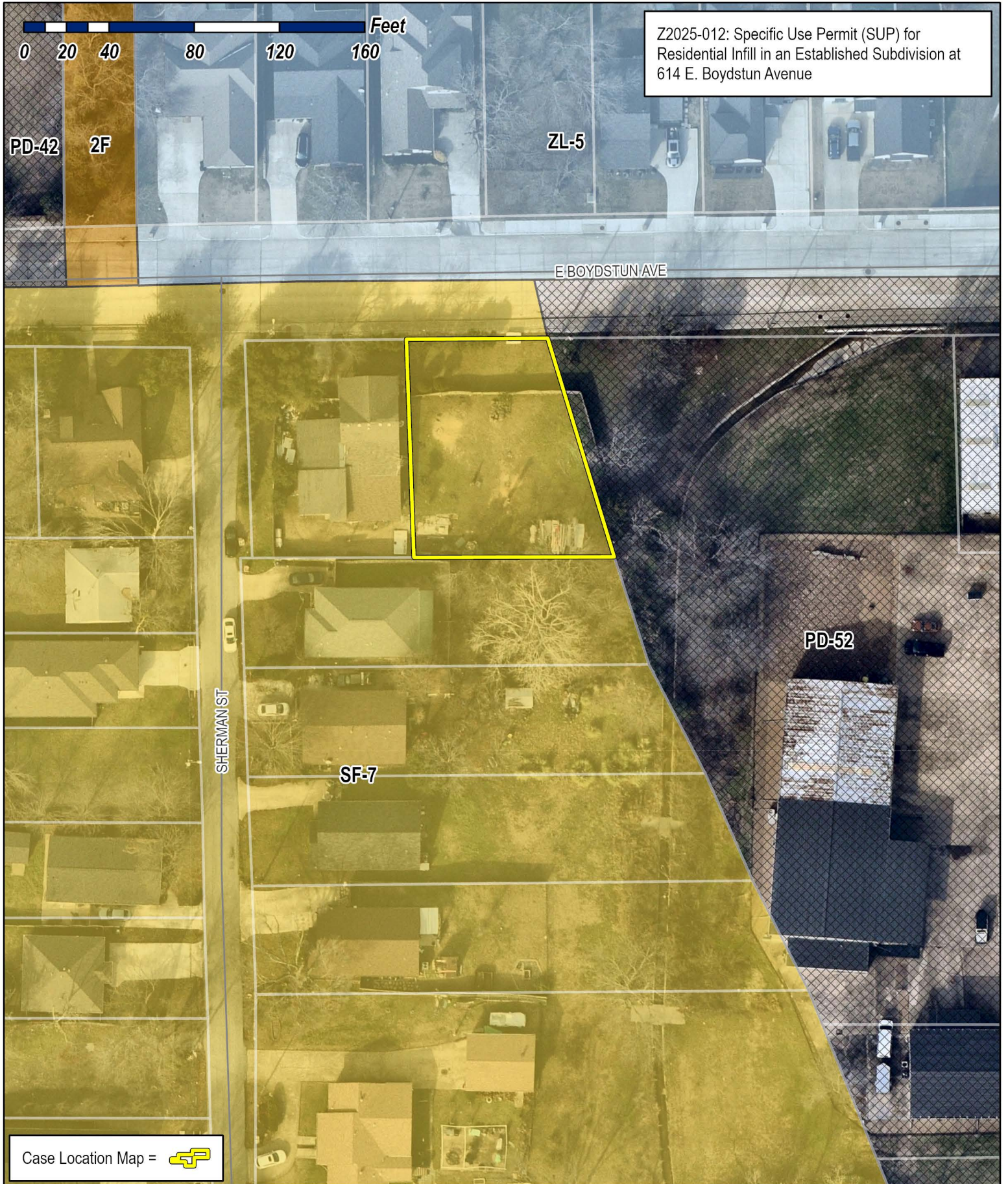
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Gamez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 225 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6-10-25 DAY OF March 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF March, 2025  
 OWNER'S SIGNATURE: David Gamez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Theresa L. Moss





Z2025-012: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 614 E. Boydston Avenue



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

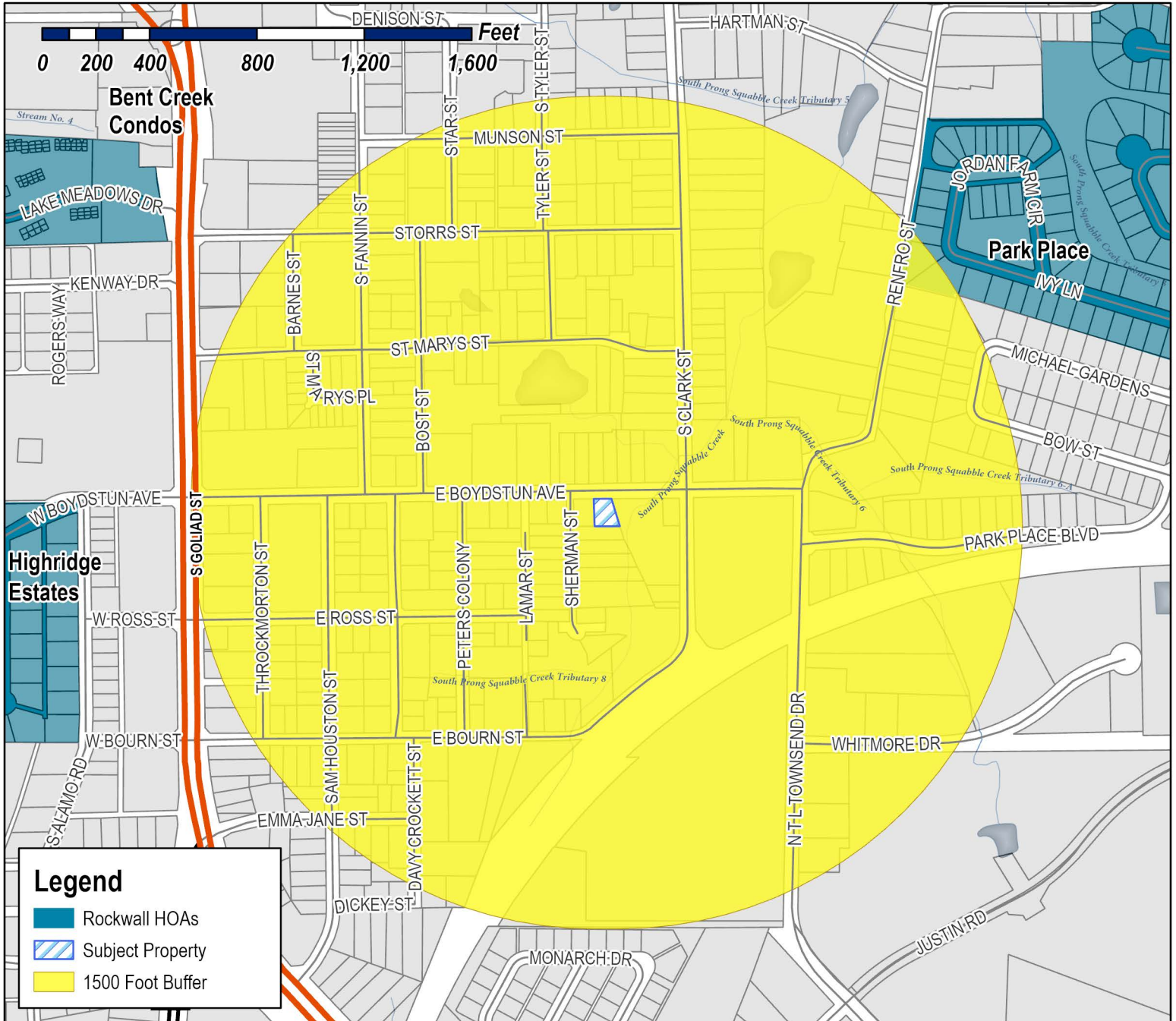
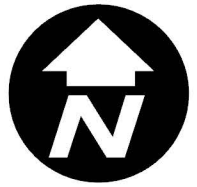




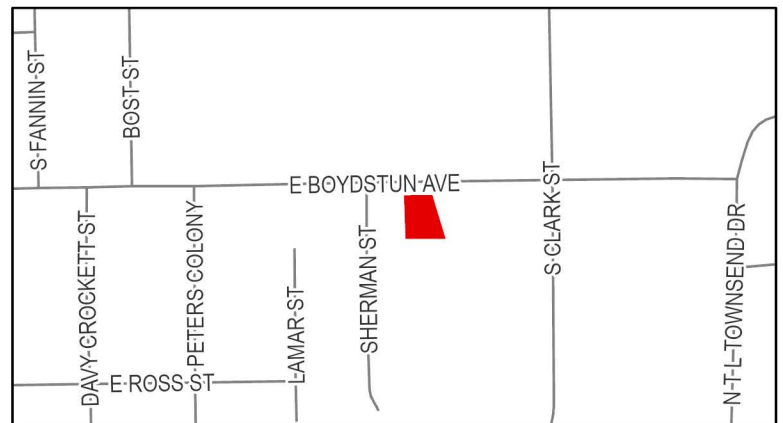
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-012  
**Case Name:** Specific Use Permit (SUP) for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 614 Boydston E. Avenue



**Date Saved:** 3/14/2025  
 For Questions on this Case Call (972) 771-7745

**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-012]  
**Date:** Wednesday, March 19, 2025 9:31:56 AM  
**Attachments:** [HOA Map \(03.19.2025\).pdf](#)  
[Public Notice \(03.17.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, March 21, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 15, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 21, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568

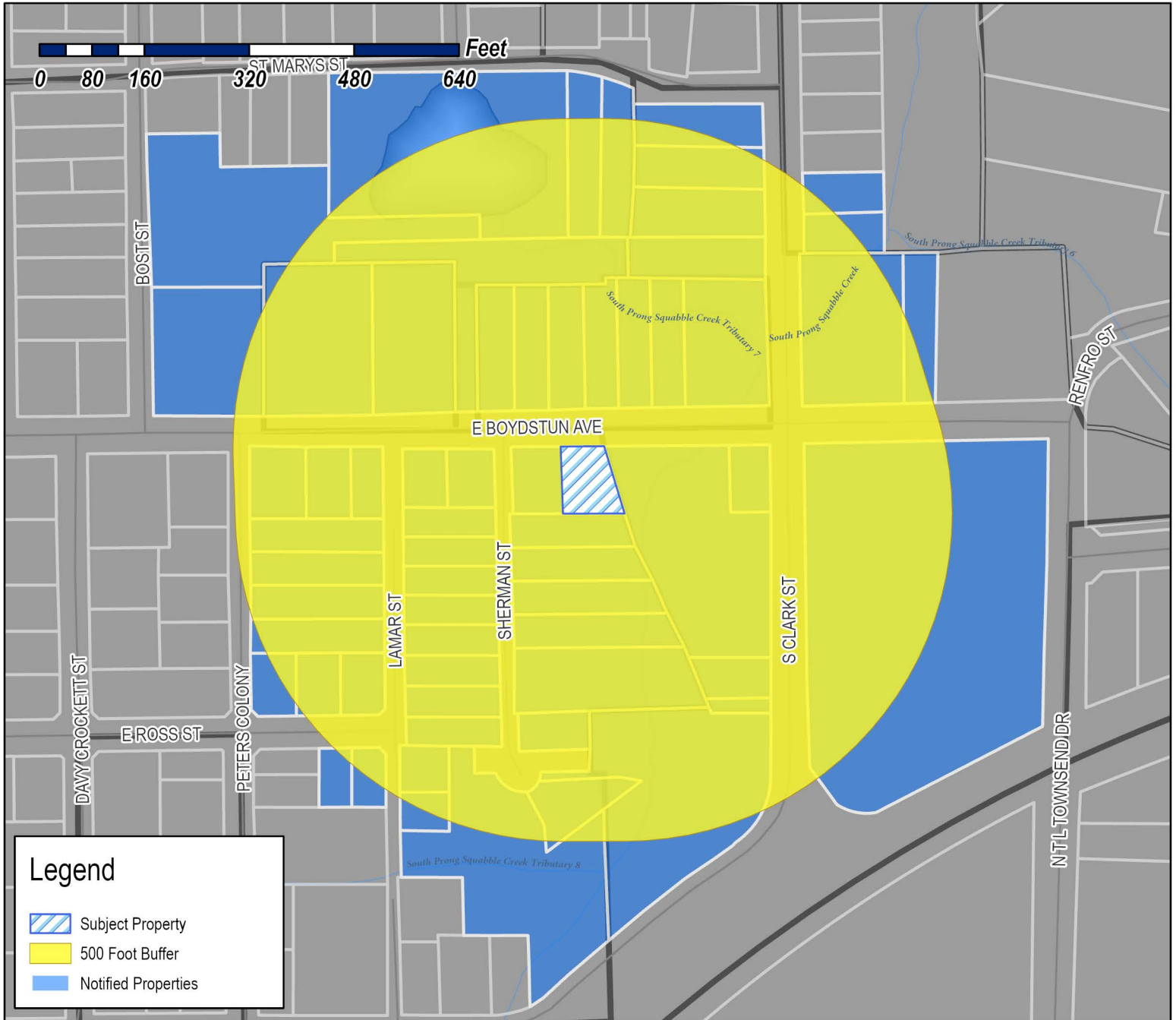




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

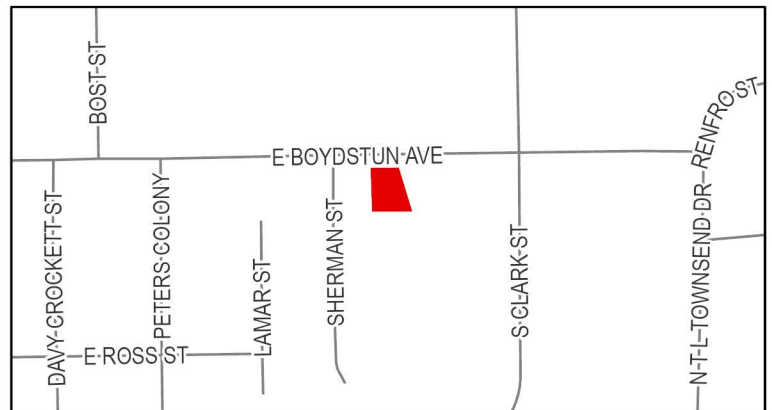
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2025-012  
**Case Name:** Specific Use Permit (SUP) for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 614 Boydstun Avenue

**Date Saved:** 3/14/2025

For Questions on this Case Call: (972) 771-7745



JOHNSON PAMELA  
1310 COLONY DR  
GARLAND, TX 75040

RSR CAPITAL LLC  
1321 CRESENT COVE DRIVE  
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES  
602 S CLARK  
143 STONELEIGH DRIVE  
HEATH, TX 75032

HOGUE MIKE & VICKY  
1498 HUBBARD DR  
FORNEY, TX 75126

PIERATT ALAN & MELODY  
1540 MEADOWS CIR  
ROCKWALL, TX 75087

HERNANDEZ ROSA ALBA  
2040 SHERWOOD DR  
GARLAND, TX 75041

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN  
2255 GARDEN CREST DR  
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE  
2521 LOUDON ST W  
ROCKWALL, TX 75032

CRP/TH SFR PROGRAM TX OWNER LP  
2875 W RAY RD  
CHANDLER, AZ 85224

BOSS MORRIS E AND  
DEBRA K BOSS  
408 RIDGEVIEW  
ROCKWALL, TX 75087

COCHRAN LIVING TRUST  
JOE B COCHRAN & SANDRA COCHRAN -  
TRUSTEES  
4405 VIA DEL NORTE  
MESQUITE, TX 75150

GRUBBS JOHN W  
501 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RESIDENT  
507 E BOYDSTUN AVE  
ROCKWALL, TX 75087

NIX ROSALIA  
602 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RESIDENT  
602 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
604 E BOYDSTUN AVE  
ROCKWALL, TX 75087

CAMELI CHAZ CRISTIAN NECOLA & LAUREN  
604 E ROSS ST  
ROCKWALL, TX 75087

RESIDENT  
604 S CLARK ST  
ROCKWALL, TX 75087

GENTRY GENEVA  
605 BOST ST  
ROCKWALL, TX 75087

KRONLAGE HOLLIE  
605 E ROSS STREET  
ROCKWALL, TX 75087

CASTILLO JUAN JAIME  
605 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
606 ROSS  
ROCKWALL, TX 75087

RESIDENT  
606 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RESIDENT  
606 S CLARK ST  
ROCKWALL, TX 75087

WILKERSON CLAUDE JR  
606 SAINT MARY ST  
ROCKWALL, TX 75087

RESIDENT  
607 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RESIDENT  
607 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
608 ST MARYS ST  
ROCKWALL, TX 75087

RESIDENT  
608 E BOYDSTUN AVE  
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES  
609 E ROSS ST  
ROCKWALL, TX 75087

SCHUMANN LAURIE A  
610 E BOYDSTUN AVE  
ROCKWALL, TX 75087

RESIDENT  
610 S CLARK ST  
ROCKWALL, TX 75087

FARRELL KIMBERLY A  
610 SAINT MARY ST  
ROCKWALL, TX 75087

SMITH CHARLES ELLIOT  
611 E BOYDSTUN AVE  
ROCKWALL, TX

CARPENTER KATHRYN ANN  
613 E BOYDSTUN AVE  
ROCKWALL, TX 75087

GAMEZ DAVID  
614 E BOYDSTUN AVE  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
615 E BOYDSTUN AVENUE  
ROCKWALL, TX 75032

RESIDENT  
617 E BOYDSTUN AVE  
ROCKWALL, TX 75087

KENNEDY BLAKE  
619 E Boydston Ave  
Rockwall, TX 75087

RANDOLPH JAMES R JR  
621 E. BOYDSTUN AVE  
ROCKWALL, TX 75087

DITO JAAP & ESTHER  
627 E Boydston Ave  
Rockwall, TX 75087

KAUFMANN PROPERTIES LLC  
% DOUGLAS A KAUFMANN  
627 SORITA CIR  
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN  
633 STILLMEADOW DR  
RICHARDSON, TX 75081

RESIDENT  
702 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
703 SHERMAN  
ROCKWALL, TX 75087

RESIDENT  
703 E BOYSTUN AVE  
ROCKWALL, TX 75087

EBY JENNIFER  
703 PETERS COLONY  
ROCKWALL, TX 75087

SCROGGINS MURRAY  
704 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
705 E BOYDSTUN AVE  
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D  
705 N SHERMAN  
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER  
705 PETERS COLONY  
ROCKWALL, TX 75087

RESIDENT  
706 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
706 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
707 S CLARK  
ROCKWALL, TX 75087

ABARCA JOANNE  
707 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
708 SHERMAN ST  
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN  
LEE  
709 PETERS COLONY  
ROCKWALL, TX 75087

SMITH PAMELA K  
709 SHERMAN STREET  
ROCKWALL, TX 75087

SANCHEZ FATIMA L  
710 SHERMAN ST  
ROCKWALL, TX 75087

ALLEN ETHEL JEAN  
711 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
712 CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
712 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
713 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
714 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
715 SHERMAN ST  
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E  
715 PETERS COLONY  
ROCKWALL, TX 75087

RESIDENT  
716 SHERMAN ST  
ROCKWALL, TX 75087

RESIDENT  
725 PETERS COLONY  
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL  
DISTRICT PUBLIC FACILITY CORP  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE  
801 LAMAR ST  
ROCKWALL, TX 75087

RICHARD EXPO  
820 E HEATH ST  
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC  
880 SHORES BLVD  
ROCKWALL, TX 75087

HILLMAN HOUSING LLC  
9706 HEARTSTONE LANE  
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY  
PO BOX 4  
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD  
ATTN: ACCOUNTS PAYABLE  
SUITE 300 200 MERIDIAN CENTRE BLVD  
ROCHESTER, NY 14618

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by David Gamez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 614 E. Boydston Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-012: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

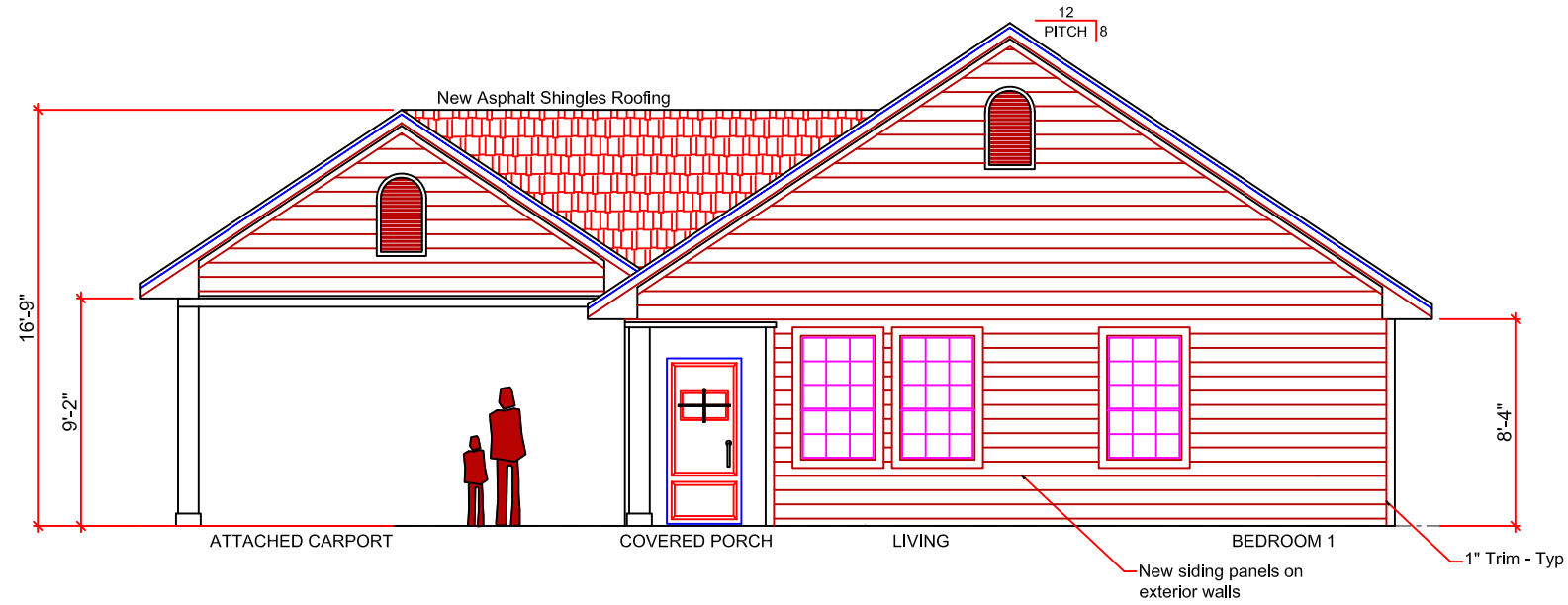
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

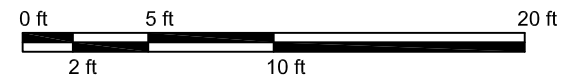
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



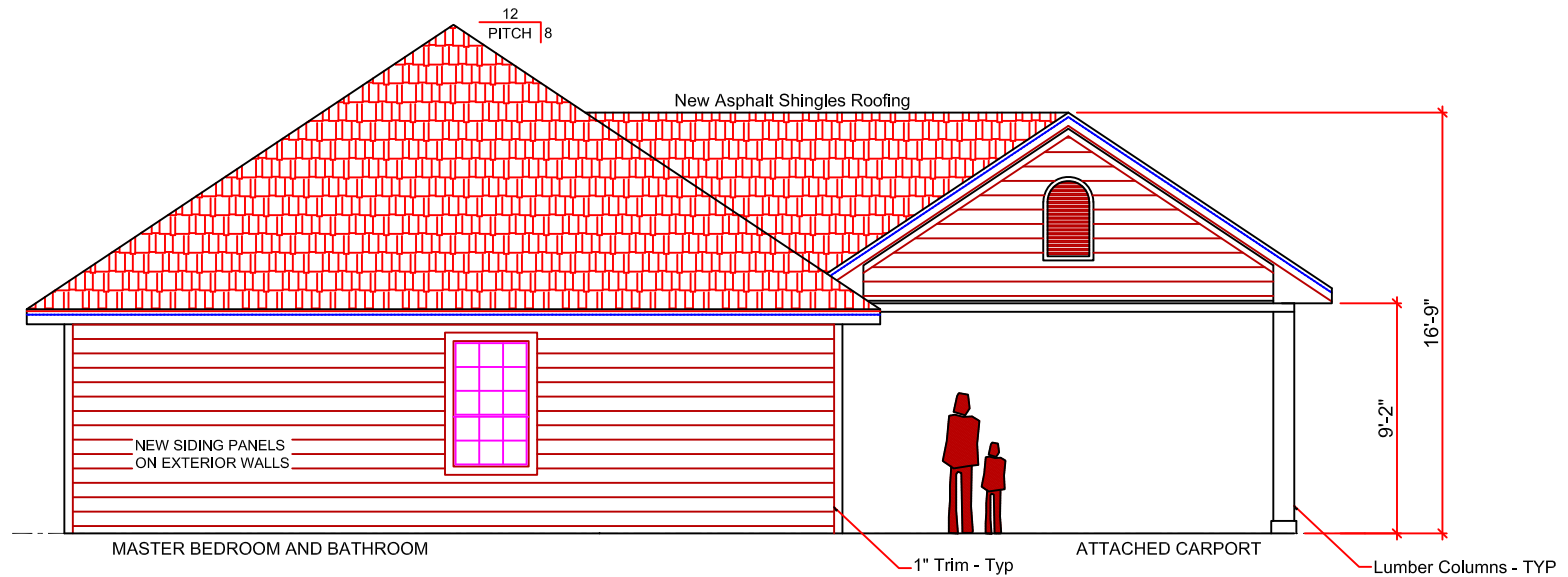
### North (Front) Elevation

614 E BOYDSTUN AVE, ROCKWALL TX



Graphic Scale

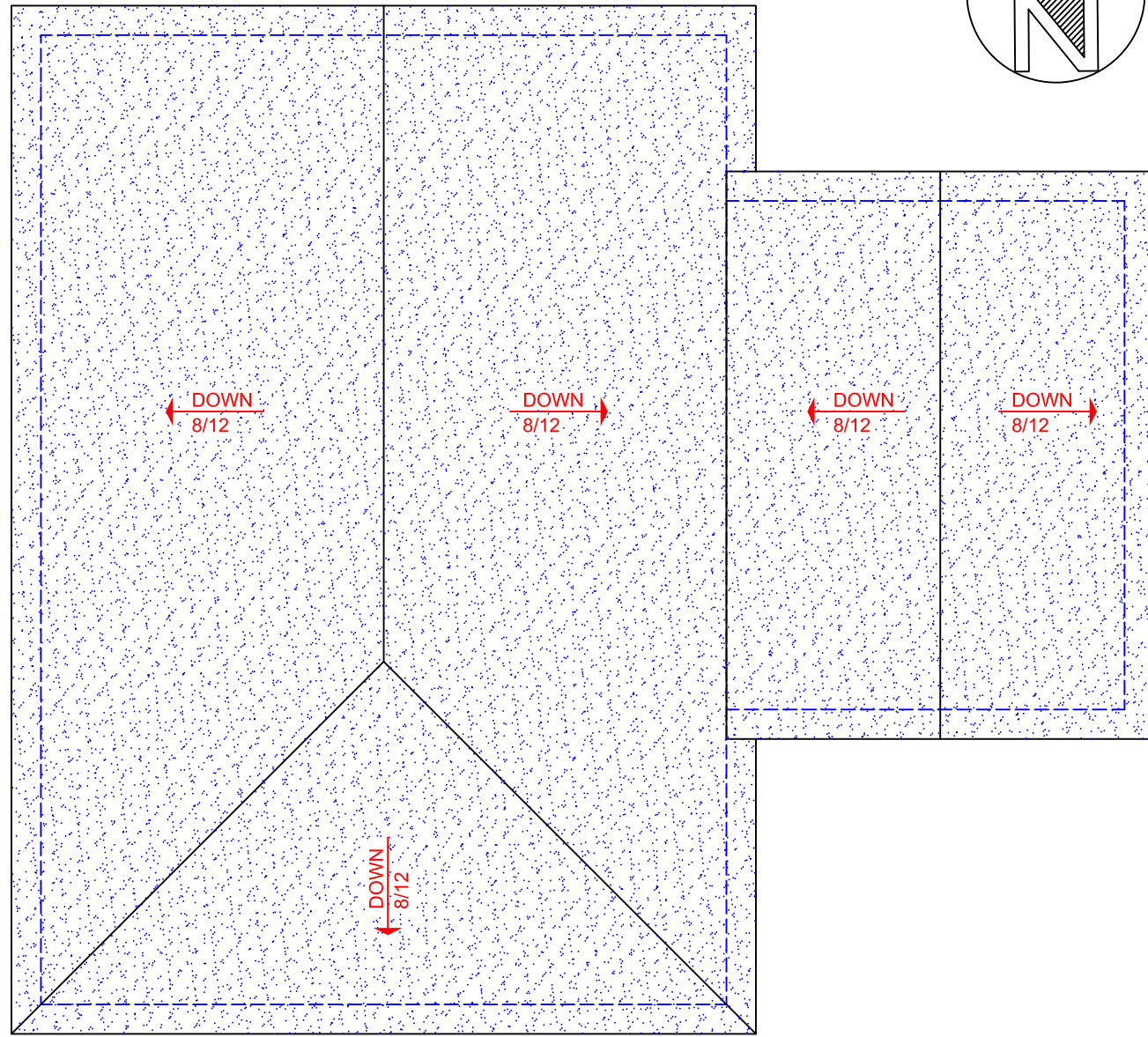
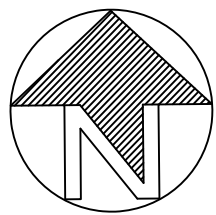
Scale Reference:  
3/16" : 1'-0"



### South (Back) Elevation

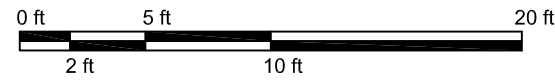
614 E BOYDSTUN AVE, ROCKWALL TX



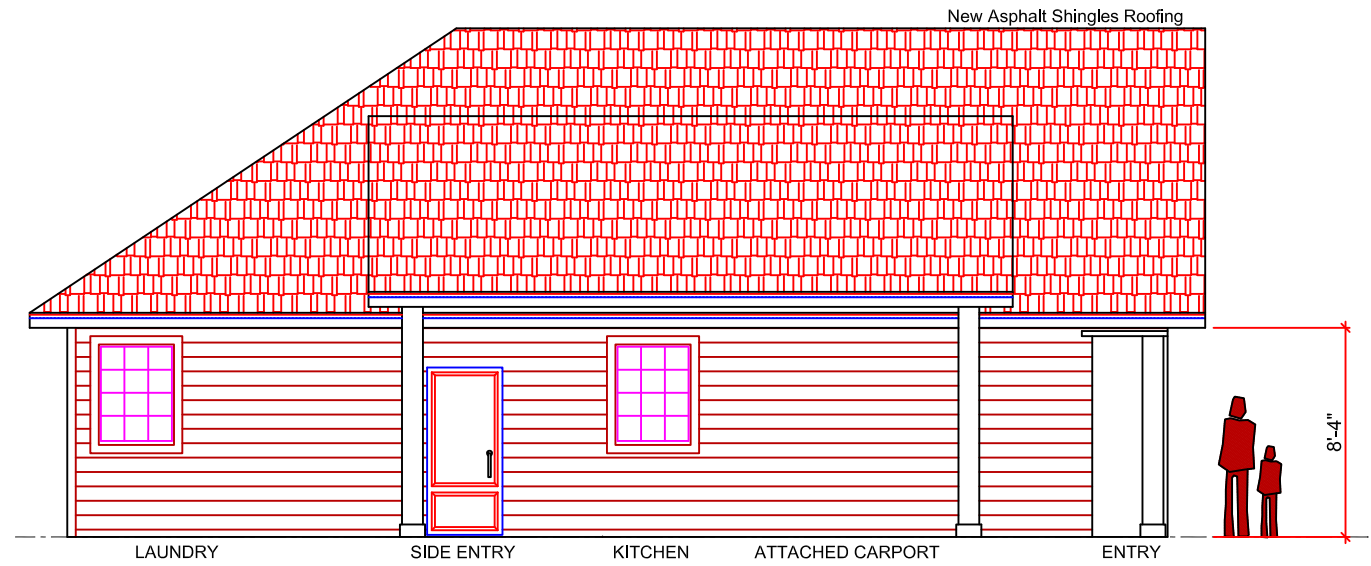


**ROOF PLAN - New Frame**

614 E BOYDSTUN AVE, ROCKWALL TX

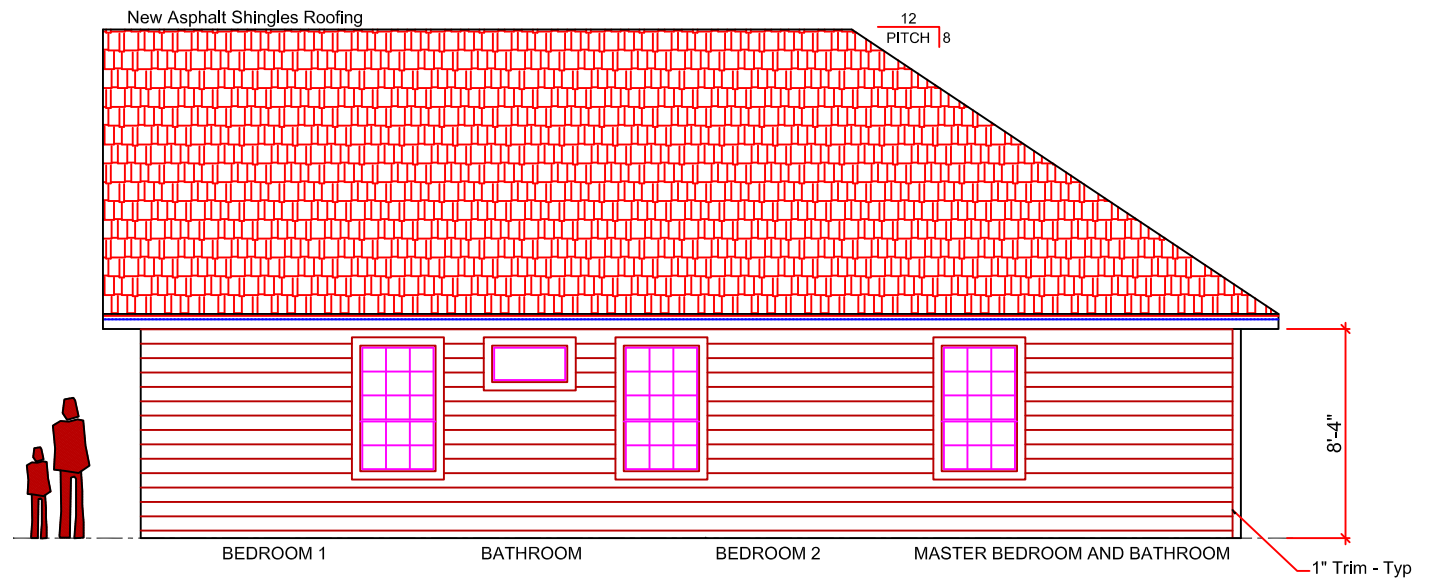


Graphic Scale



**East (Left) Elevation**

614 E BOYDSTUN AVE, ROCKWALL TX



**West (Right) Elevation**

614 E BOYDSTUN AVE, ROCKWALL TX

Drafting Solutions - Allen, TX (972) 697-6258

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not exceed the fee paid for plans.



New Single Family  
614 E Boydston Ave  
Rockwall, TX 75087

Owners:  
The Gamez family

DRAFTING:  
JHR

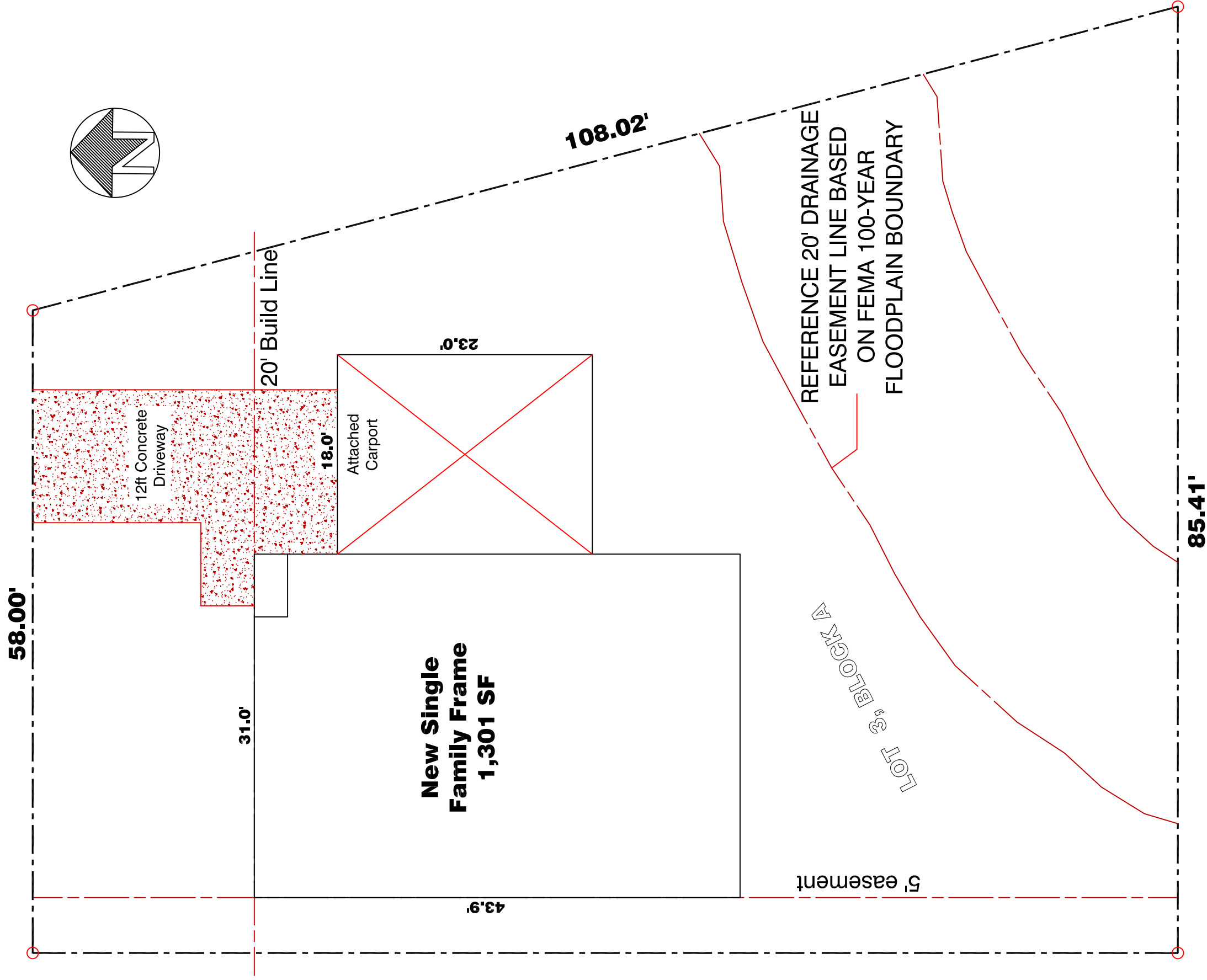
DATE:  
3-10-2025

PLAN NUMBER:

Plan

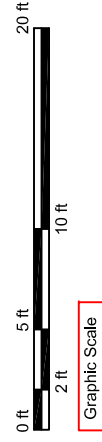
A0.4

BOYDSTUN AVENUE  
(Measured 50' R.O.W.)



### SITE PLAN

614 E BOYDSTUN AVE, ROCKWALL TX



FOR PLANS REVIEW

Owners:  
The Gamez family

New Single Family  
614 E Boydston Ave  
Rockwall, TX 75087



Drafting Solutions - Allen, TX (972) 697-6258

DRAFTING:  
JHR

DATE:  
3-10-2025

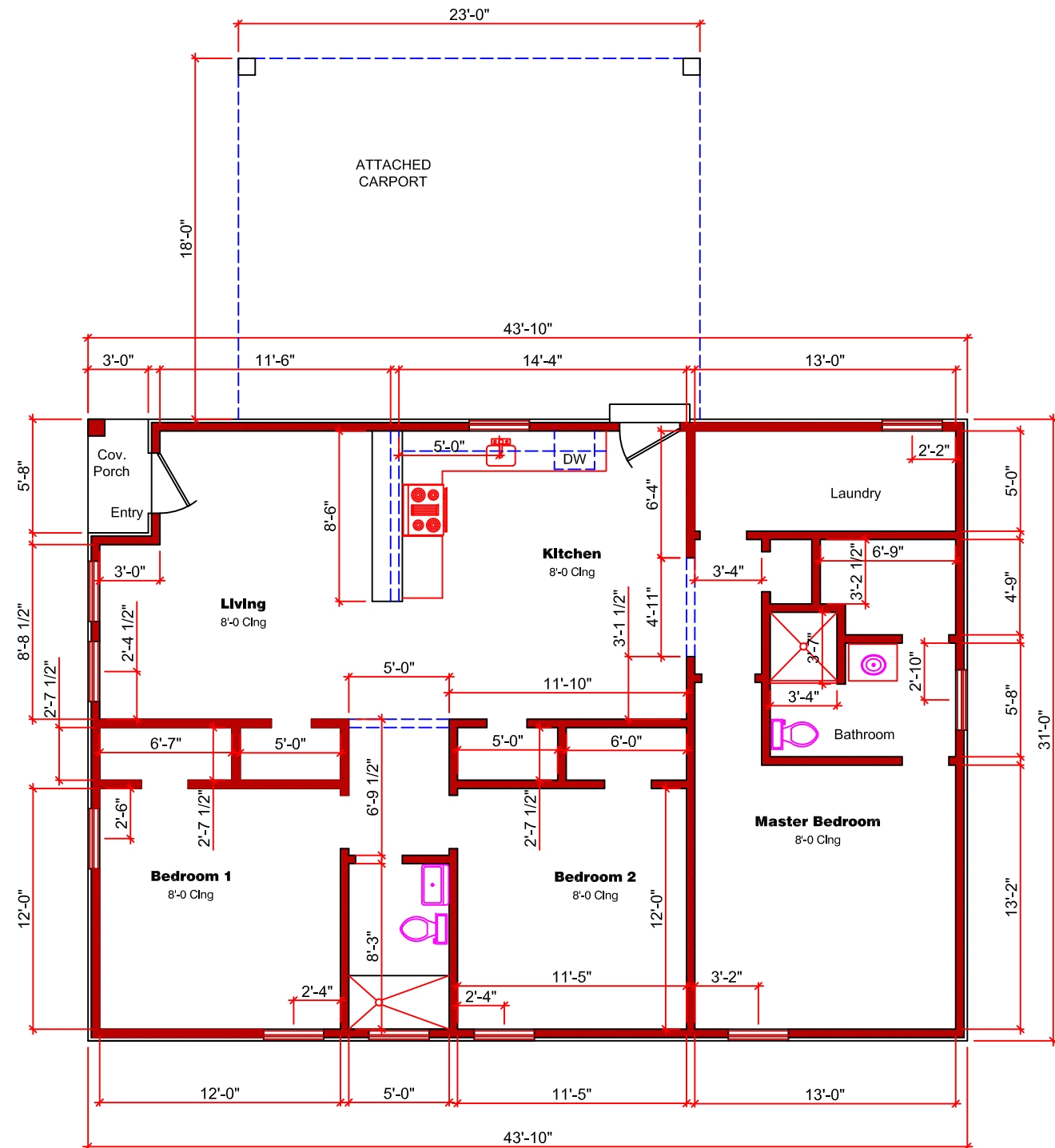
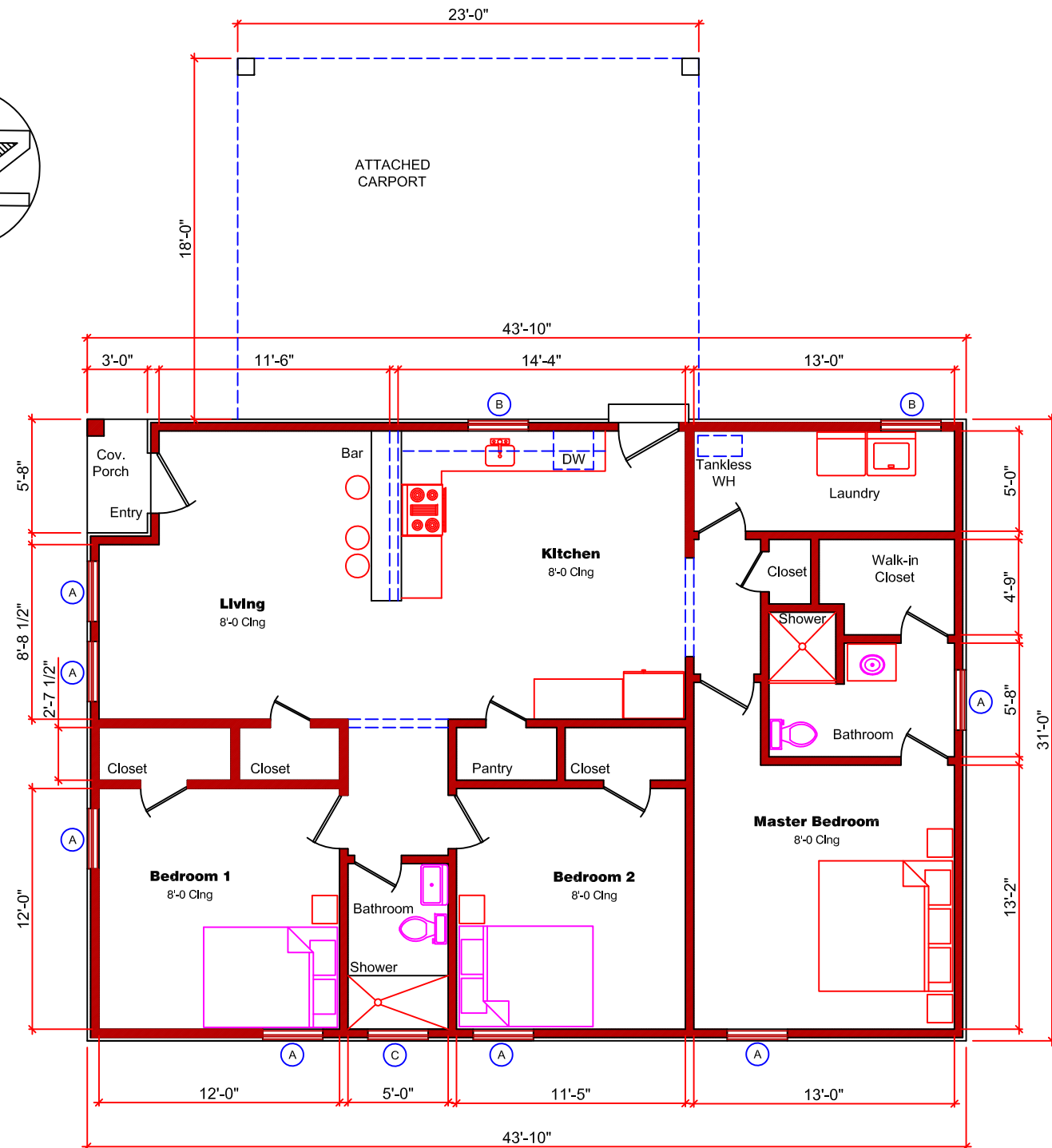
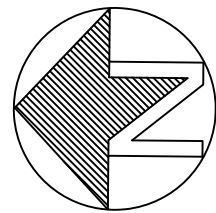
PLAN NUMBER:

Plan

A0.1

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not exceed the fee paid for plans.





**FLOOR PLAN - New Frame**

614 E BOYDSTUN AVE, ROCKWALL TX



Graphic Scale

Scale Reference:  
3/16" : 1'-0"

**Window Schedule:**

- A. 3050 - Single Hung, New window replacement
- B. 3040 - Single Hung, New window replacement
- C. 3014 - Blank panel, Bathroom

**SQUARE FT. ADDITION**

FIRST FLOOR (AC)	1,301 SF
ATTACHED CARPORT	414 SF

**FLOOR PLAN - Dimensional**

614 E BOYDSTUN AVE, ROCKWALL TX



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.17-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, GAMEZ ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by David Gamez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.17-acre parcel of land identified as Lot 3, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 614 Boydston Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF MAY, 2025.

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: April 21, 2025

2<sup>nd</sup> Reading: May 5, 2025

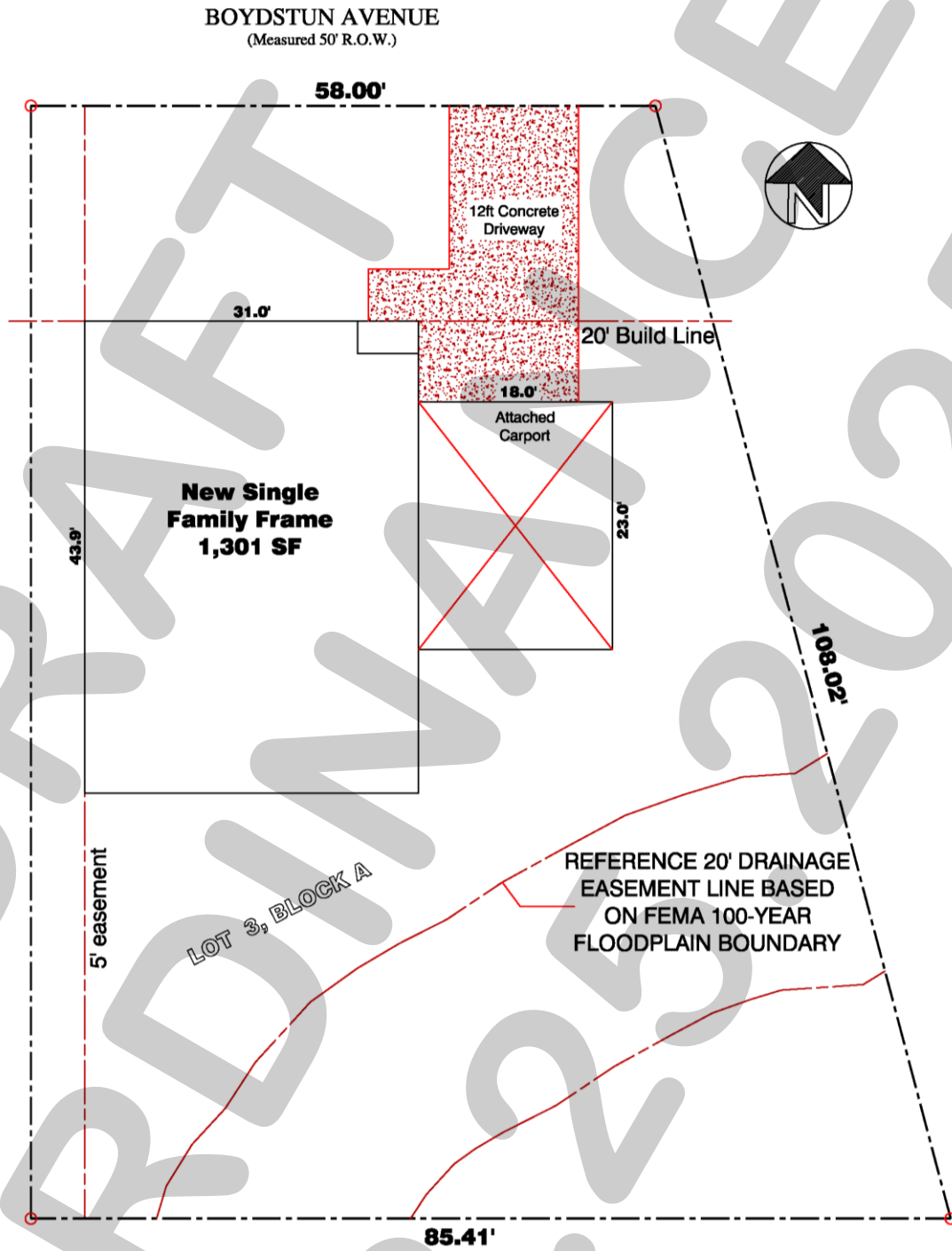
**Exhibit 'A':**  
**Location Map**

Address: 614 Boydston Avenue

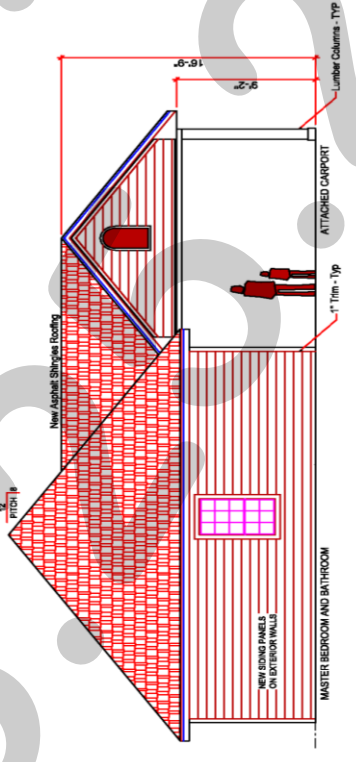
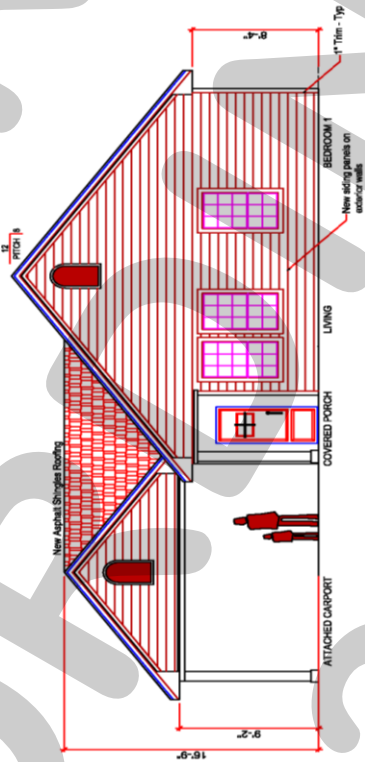
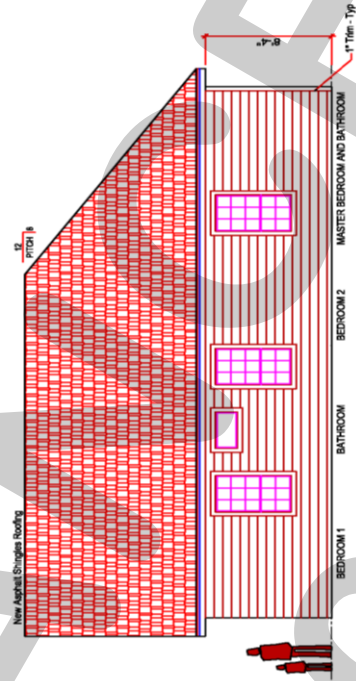
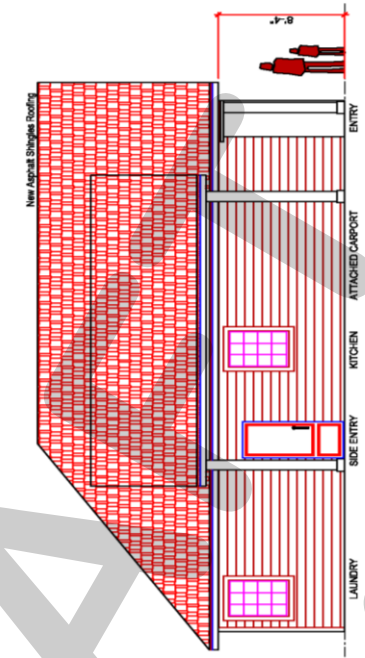
Legal Description: Lot 3, Block A, Gamez Addition



Exhibit 'B':  
Residential Plot Plan



**Exhibit 'C':**  
*Building Elevations*



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: Z2025-013  
PROJECT NAME: SUP for Residential Infill  
SITE ADDRESS/LOCATIONS: 588 CORNELIUS RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	03/20/2025	Approved w/ Comments

03/20/2025: Z2025-013; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 588 Cornelius Road  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2025-013) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the Maytona Ranch Estates Subdivision which has been in existence since September 26, 1986, consists of 19 lots, and is 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Outdoor Showers are not allowed in a single-family home. These must be removed from the floor plan.

I.7 Roof Pitch. According to Subsection 03.01, General Residential District Standards, of Article 05, District Development Standards, all residential structures shall be constructed with a minimum of a 3:12 roof pitch. In this case, two (2) of the awnings on the south elevation do not meet the requirements.

M.8 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1,



2025.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

03/20/2025: General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.
- If there are outdoor showers, they must drain to septic system by means of a drain system.
- If adding a new driveway, it must be concrete and have an engineered design RCP culvert at Cornelius.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

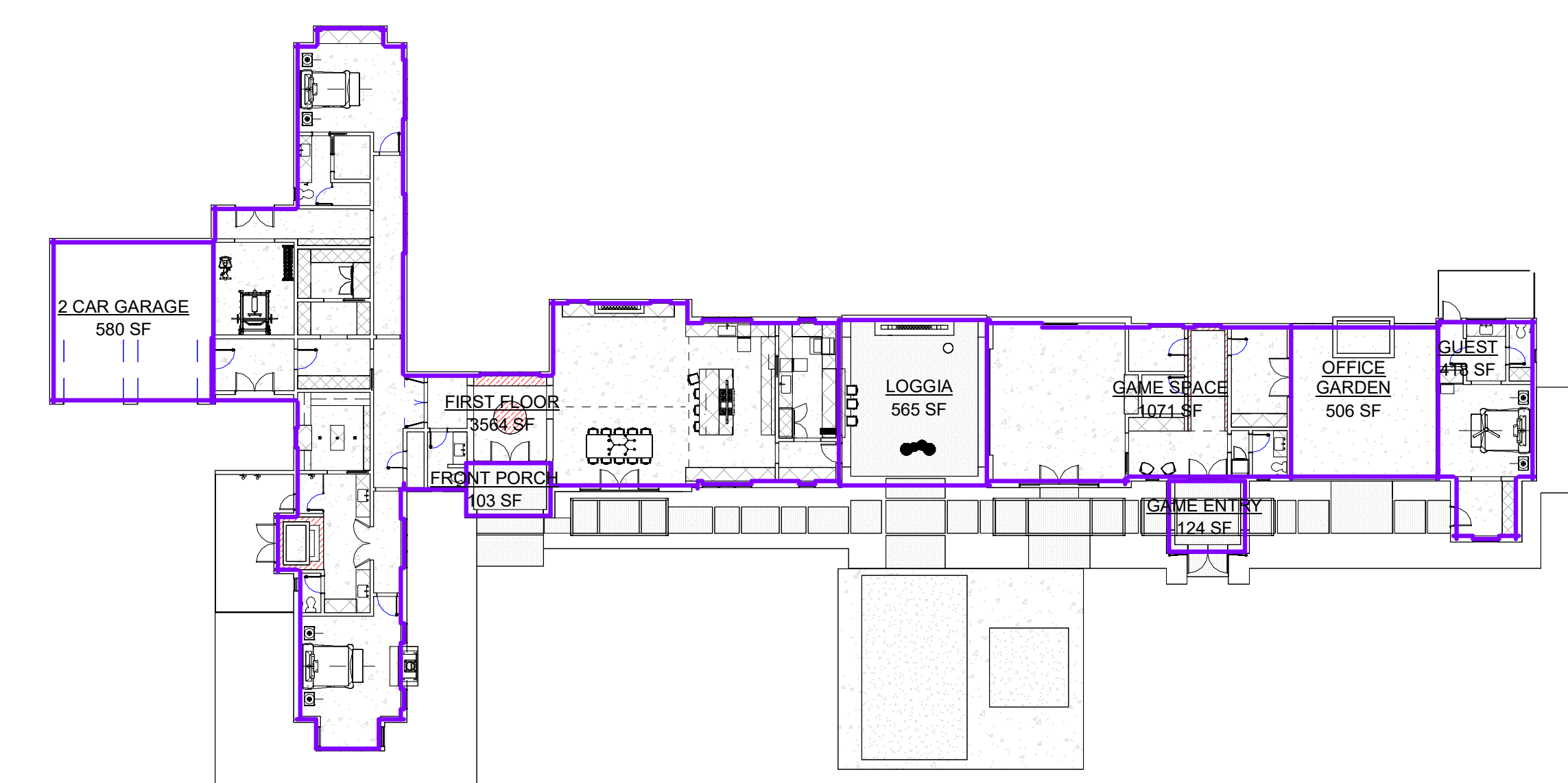
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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

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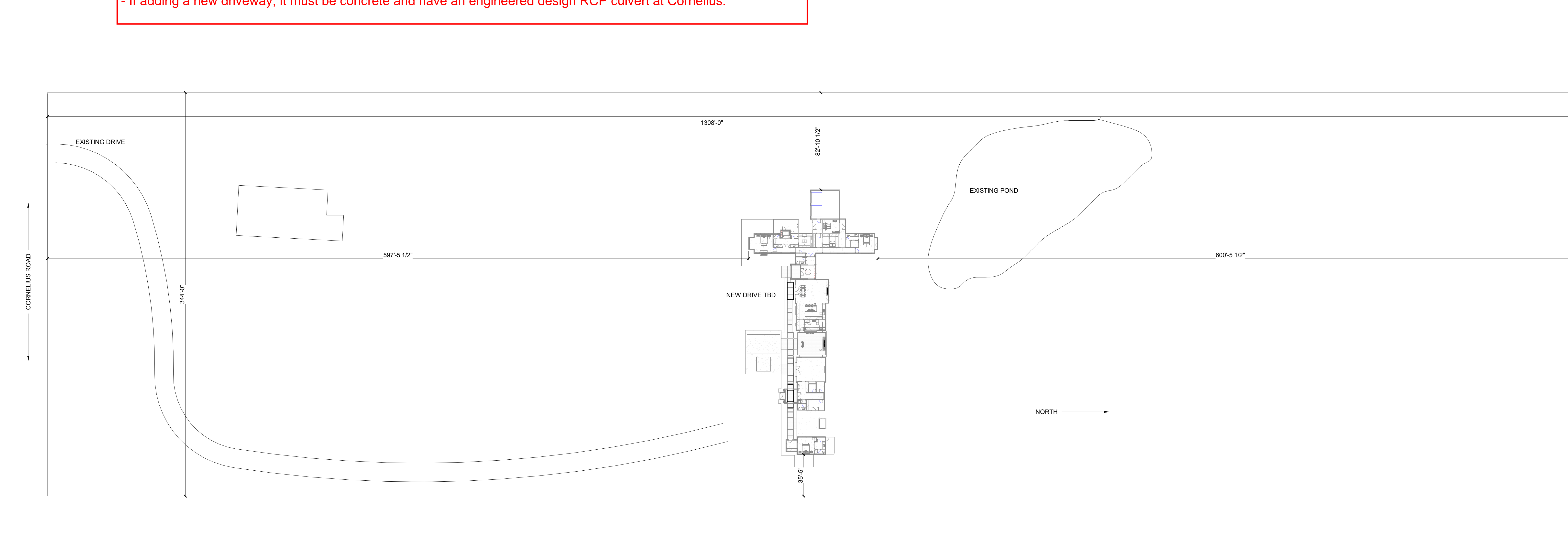
No Comments

BUILDING AREA			
Level	Name	Area	Comments
LEVEL 1	GAME SPACE	1071 SF	AC
LEVEL 1	GUEST	418 SF	AC
LEVEL 1	FIRST FLOOR	3564 SF	AC
AC		5652 SF	
LEVEL 1	2 CAR GARAGE	580 SF	NDN AC
LEVEL 1	LOGGIA	565 SF	NDN AC
LEVEL 1	FRONT PORCH	193 SF	NDN AC
LEVEL 1	OFFICE GARDEN	506 SF	NDN AC
LEVEL 1	GAME ENTRY	124 SF	NDN AC
NDN AC		1878 SF	
TOTAL UNDER ROOF:		8	8930 SF



**1 LEVEL 1**  
SCALE: 1" = 20'-0"

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
  - Impact Fees (Water, Wastewater & Roadway)
  - Retaining walls 3' and over must be engineered.
  - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
  - Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
  - Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
  - Will need to show how proposed home will be accessing utilities.
  - Water and sanitary sewer and storm sewer must be 10' apart.
  - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
  - Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
  - No gravel or asphalt allowed in any area.
  - Additional comments may be provided at time of Building Permit.
  - If there are outdoor showers, they must drain to septic system by means of a drain system.
  - If adding a new driveway, it must be concrete and have an engineered design RCP culvert at Cornelius.



**3 SITE**  
SCALE: 1" = 40'-0"



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 588 Cornelius Rd

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION North Stodghill Rd & Cornelius Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Agriculture

CURRENT USE Agriculture

PROPOSED ZONING Residential

PROPOSED USE Residential Home

ACREAGE 10

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER HALLIE FLEMING

APPLICANT SPRUILL HOMES

CONTACT PERSON

CONTACT PERSON BRANDON SPRUILL

ADDRESS 508 N ALAMO RD  
ROCKWALL, TX

ADDRESS 1205 VALLEY TRAIL

CITY, STATE & ZIP 75087

CITY, STATE & ZIP HEATH, TX 75032

PHONE 214 763 1123

PHONE 214 226 7796

E-MAIL HALLIE.BROCKWALL@VIATDO.COM

E-MAIL BRANDON@SPRUILLHOMES.COM

## NOTARY VERIFICATION (REQUIRED)

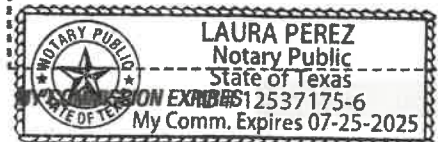
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hallie Fleming [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12<sup>th</sup> DAY OF March, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-013: Specific Use Permit (SUP) for Residential Infill at 588 Cornelius Road

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

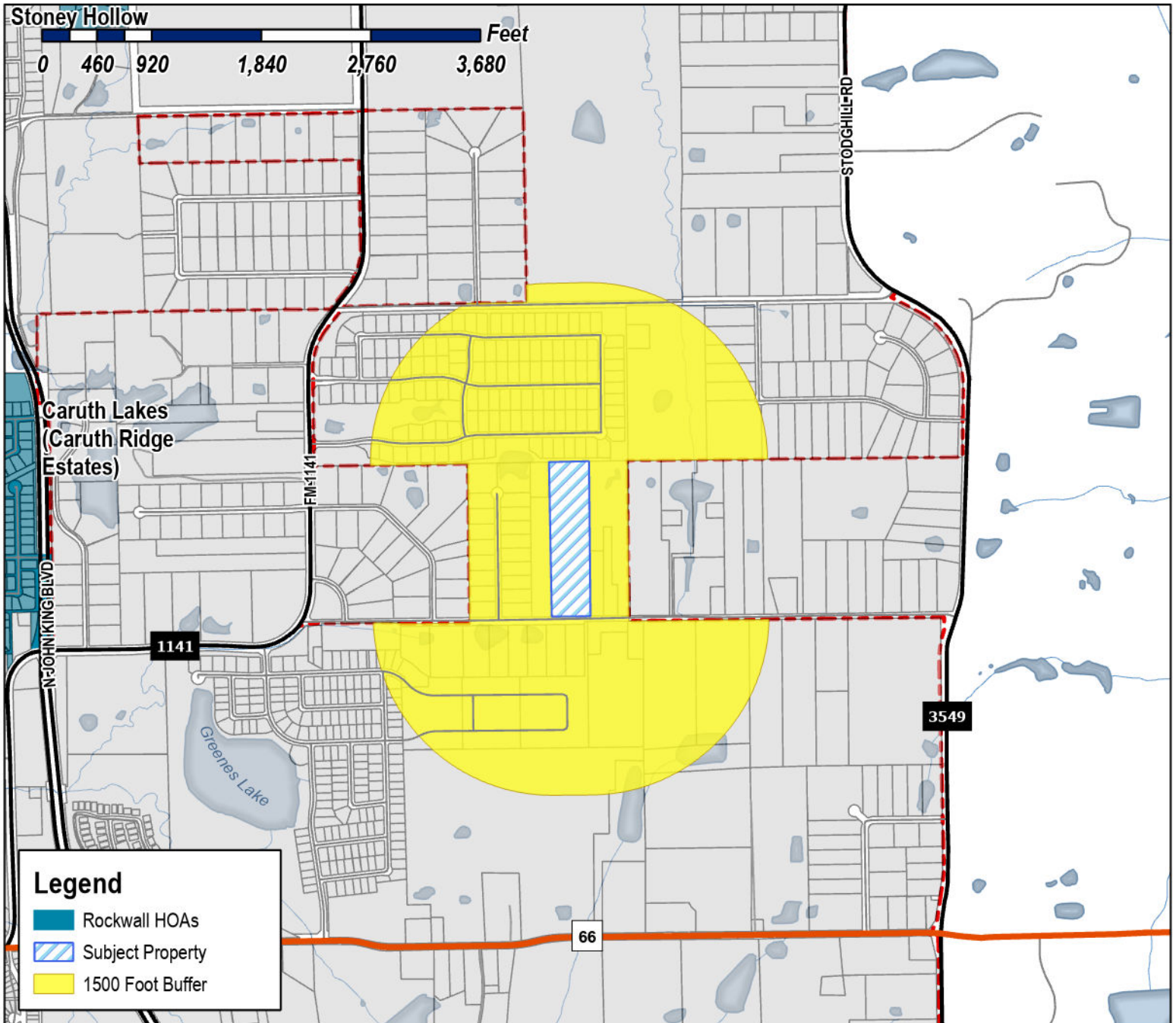




# City of Rockwall

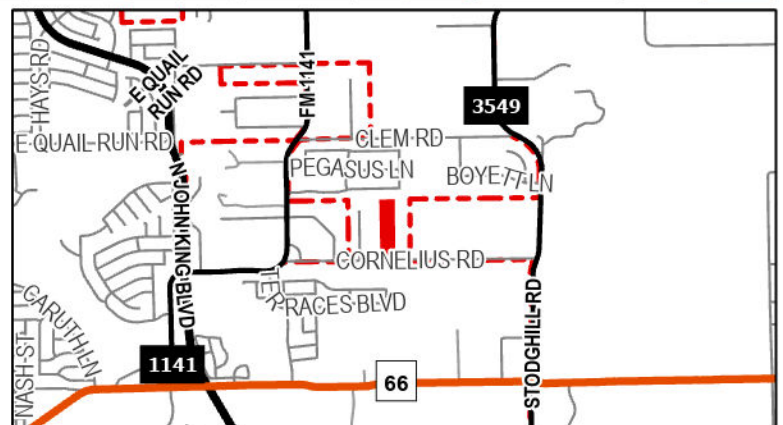
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**Case Number:** Z2025-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
 588 Cornelius Road  
**Case Address:**

**Date Saved:** 3/14/2025  
 For Questions on this Case Call (972) 771-7745

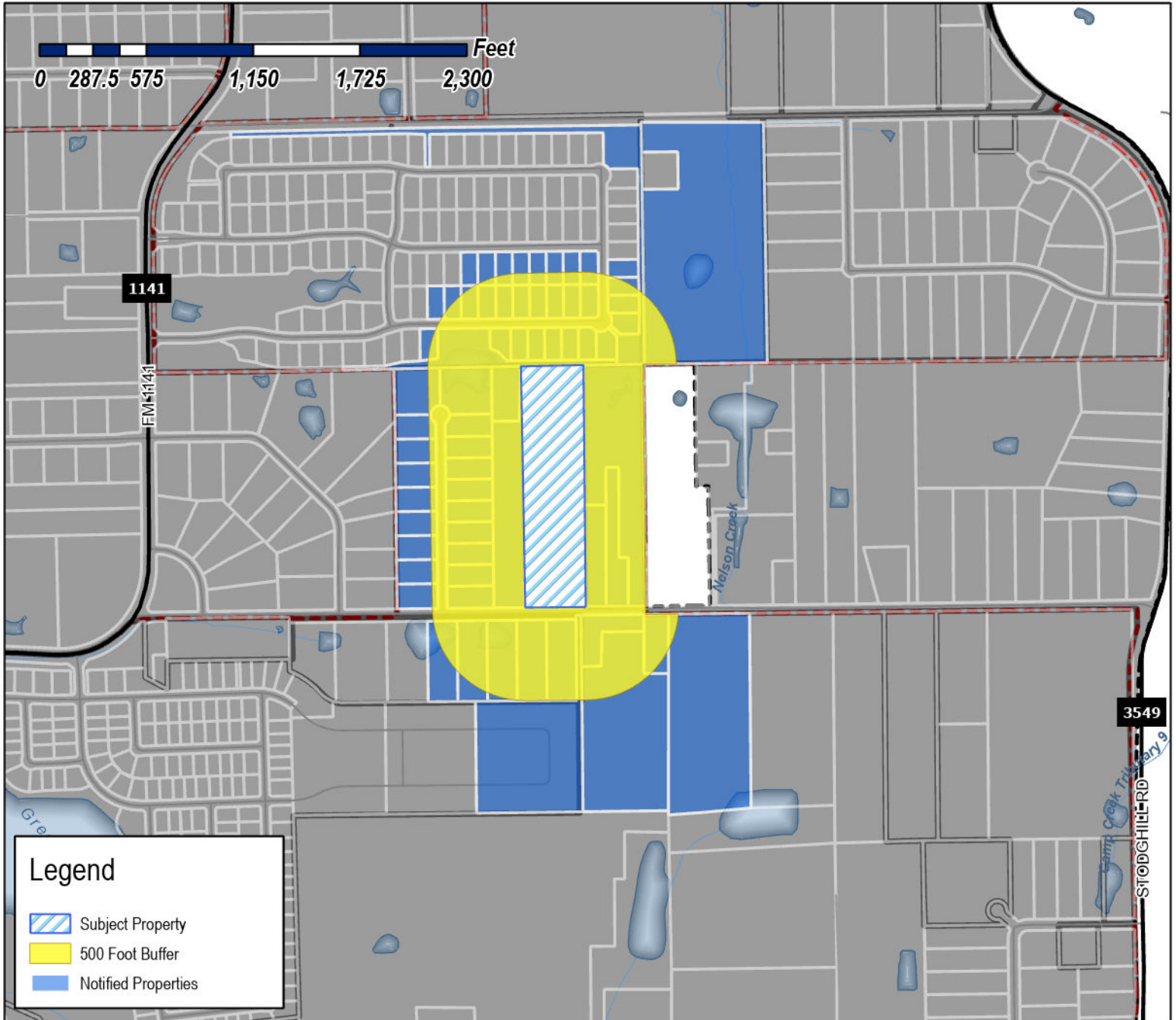




# City of Rockwall

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385 S. Goliad Street  
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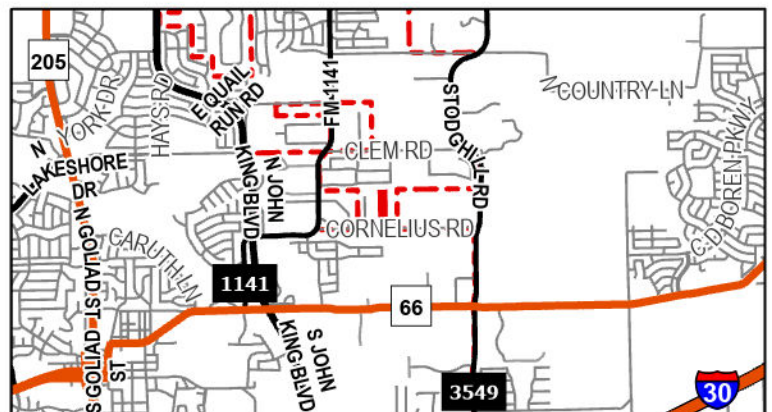
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**Case Number:** Z2025-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 588 Cornelius Road

**Date Saved:** 3/14/2025

For Questions on this Case Call: (972) 771-7745



WINDING CREEK ROCKWALL HOMEOWNERS  
ASSOCIATION  
1024 S GREENVILLE AVE STE 230  
ALLEN, TX 75002

THOMAS STEPHEN R & SHARON C  
1200 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST  
RANDY SCOTT WILSON AND KAY MARIE  
WILSON- CO TRUSTEES  
1201 MARILYN JAYNE  
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY  
1202 MARILYN JAYNE DR  
ROCKWALL, TX 75087

SMITH DANIEL T  
1203 MARILYN JAYNE DR  
ROCKWALL, TX 75087

WALKER GRACIE & LEON  
1204 MARILYN JAYNE DR  
ROCKWALL, TX 75087

JAMES DAVID L  
1205 MARILYN JAYNE DRIVE  
ROCKWALL, TX 75087

COOK ROBERT M ETUX  
1206 MARILYN JAYNE DR  
ROCKWALL, TX 75087

CANTRELL CARL DEAN  
1207 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR  
1208 MARILYN JAYNE DR  
ROCKWALL, TX 75087

BARTON FORRIS WOODROW JR & DIXIE D  
1209 MARILYN JAYNE DR  
ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND  
PAUL AND KATIE EMRA  
1210 MARILYN JAYNE LANE  
ROCKWALL, TX 75087

RYLANDER GREGORY L & PAMELA J  
1211 MARILYN JAYNE  
ROCKWALL, TX 75087

CONFIDENTIAL  
1212 MAYILYN JAYNE LN  
ROCKWALL, TX 75087

CONFIDENTIAL  
1213 MARILYN JAYNE LN  
ROCKWALL, TX 75087

RESIDENT  
1214 MARILYN JAYNE LN  
ROCKWALL, TX 75087

CONFIDENTIAL  
1215 MARILYN JAYNE DRIVE  
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M  
1216 MARILYN JAYNE DR  
ROCKWALL, TX 75087

KELLY JAMES B & DEA S  
1217 MARILYN JAYNE DR  
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS  
1218 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RESIDENT  
1400 QUASAR DR  
ROCKWALL, TX 75087

RESIDENT  
1404 QUASAR DR  
ROCKWALL, TX 75087

RESIDENT  
1408 QUASAR DR  
ROCKWALL, TX 75087

RESIDENT  
1412 QUASAR DR  
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET  
151 STEVENSON DR  
FATE, TX 75087

RESIDENT  
1518 QUASAR DR  
ROCKWALL, TX 75087

MCCALLUM CRAIG WILLIAM  
1983 N STODGHILL RD  
ROCKWALL, TX 75087

RESIDENT  
2207 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2208 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2212 PHOENIX LN  
ROCKWALL, TX 75087



RESIDENT  
2215 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2216 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2217 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2220 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2221 PEGASUS LN  
ROCKWALL, TX 75087

FORMAN LINDSEY & TANNER  
2221 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2301 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2302 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2303 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2305 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2306 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2307 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2309 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2310 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2311 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2313 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2314 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2315 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2317 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2318 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2319 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2321 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2322 PHOENIX LN  
ROCKWALL, TX 75087

RESIDENT  
2323 PEGASUS LN  
ROCKWALL, TX 75087

RESIDENT  
2325 PHOENIX LN  
ROCKWALL, TX 75087

SHADDOCK HOMES LTD  
2400 Dallas Pkwy STE 560  
Plano, TX 75093

LEE GREGORY P & LAUREN E  
2908 PRESTON TRL  
ROCKWALL, TX 75087

RESIDENT  
401 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
451 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
487 CORNELIUS RD  
ROCKWALL, TX 75087

FLEMING HALLIE B  
508 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
520 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
525 CORNELIUS RD  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
5310 Harvest Hill Rd Ste 162  
Dallas, TX 75230

RESIDENT  
555 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
588 CORNELIUS RD  
ROCKWALL, TX 75087

PEOPLES DONNIE  
589 CORNELIUS  
ROCKWALL, TX 75087

PEOPLES DONNIE  
589 CORNELIUS  
ROCKWALL, TX 75087

PEOPLES DONNIE  
589 CORNELIUS  
ROCKWALL, TX 75087

RESIDENT  
600 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
611 CLEM RD  
ROCKWALL, TX 75087

RESIDENT  
614 CORNELIUS RD  
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA  
628 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
657 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
657 CORNELIUS RD  
ROCKWALL, TX 75087

PEWITT RONNY M & JENNIFER L  
668 CORNELIUS RD  
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN  
701 Cornelius Rd  
Rockwall, TX 75087

FALCON PLACE SF LTD  
8214 Westchester Dr Ste 900  
Dallas, TX 75225

RESIDENT  
839 CORNELIUS RD  
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L  
P. O. BOX 2214  
ROCKWALL, TX 75087

ESTATE OF MICHAEL L PEOPLES SR  
ANDREA DANLEY - INDEPENDENT EXECUTOR  
PO Box 154  
Fate, TX 75132

ESTATE OF MICHAEL L PEOPLES SR  
PO Box 154  
FATE, TX 75132

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Hold a public hearing to discuss and consider a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a ten (10) acre tract of land identified Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2025-013: Specific Use Permit (SUP) for a Residential Infill

Please place a check mark on the appropriate line below:

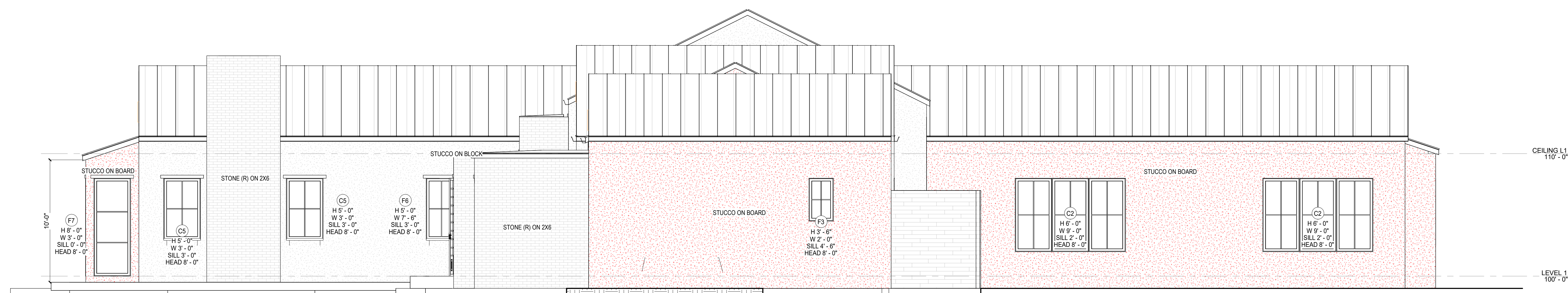
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

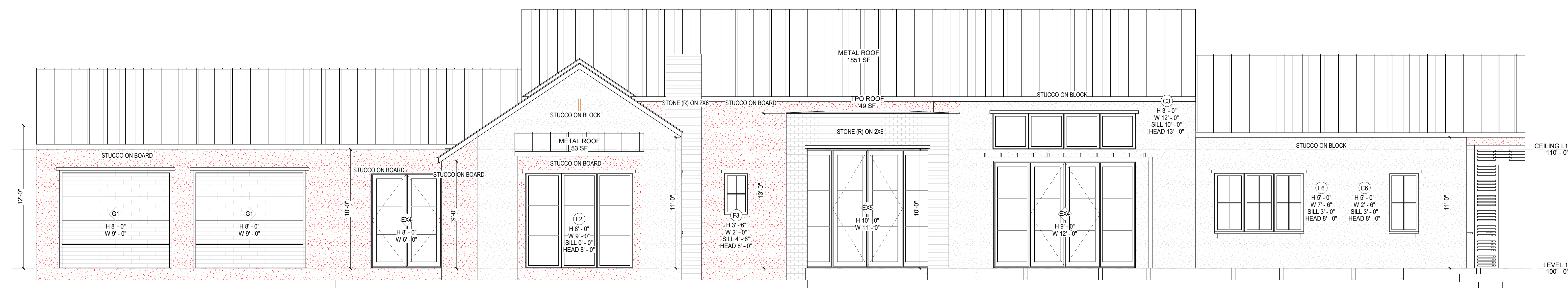
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



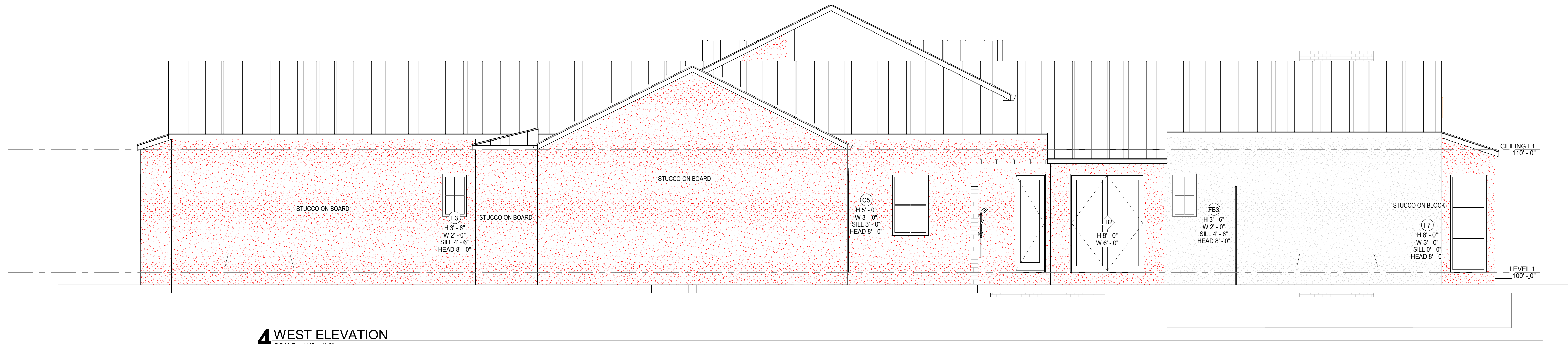
**6 SOUTH ELEVATION 2**  
SCALE: 1/4" = 1'-0"



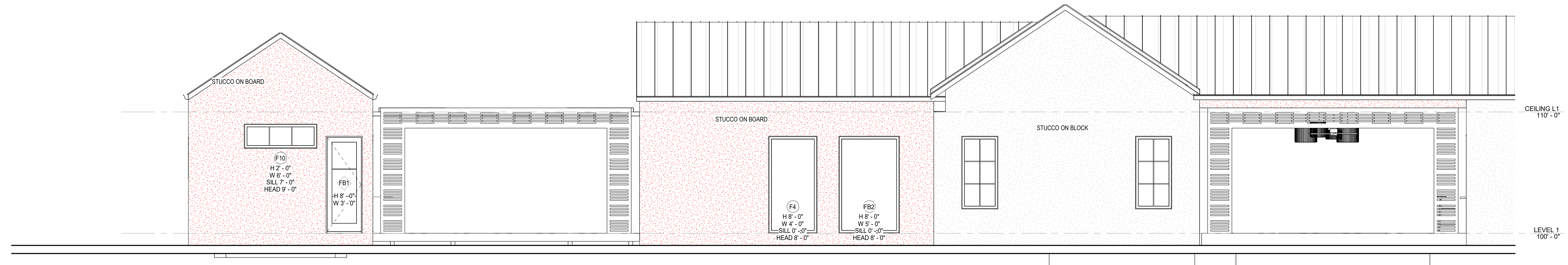
**5 SOUTH ELEVATION 1**  
SCALE: 1/4" = 1'-0"



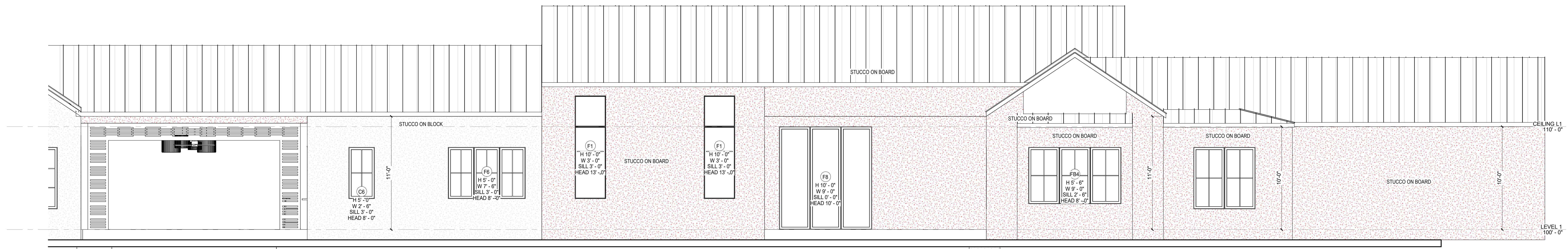
**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



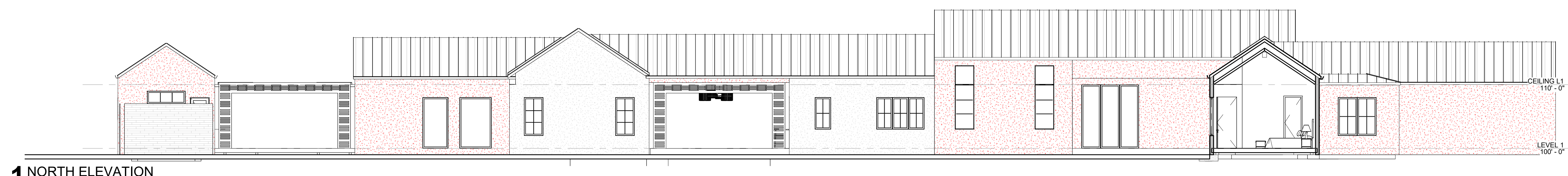
**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 NORTH ELEVATION 2**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION 1**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

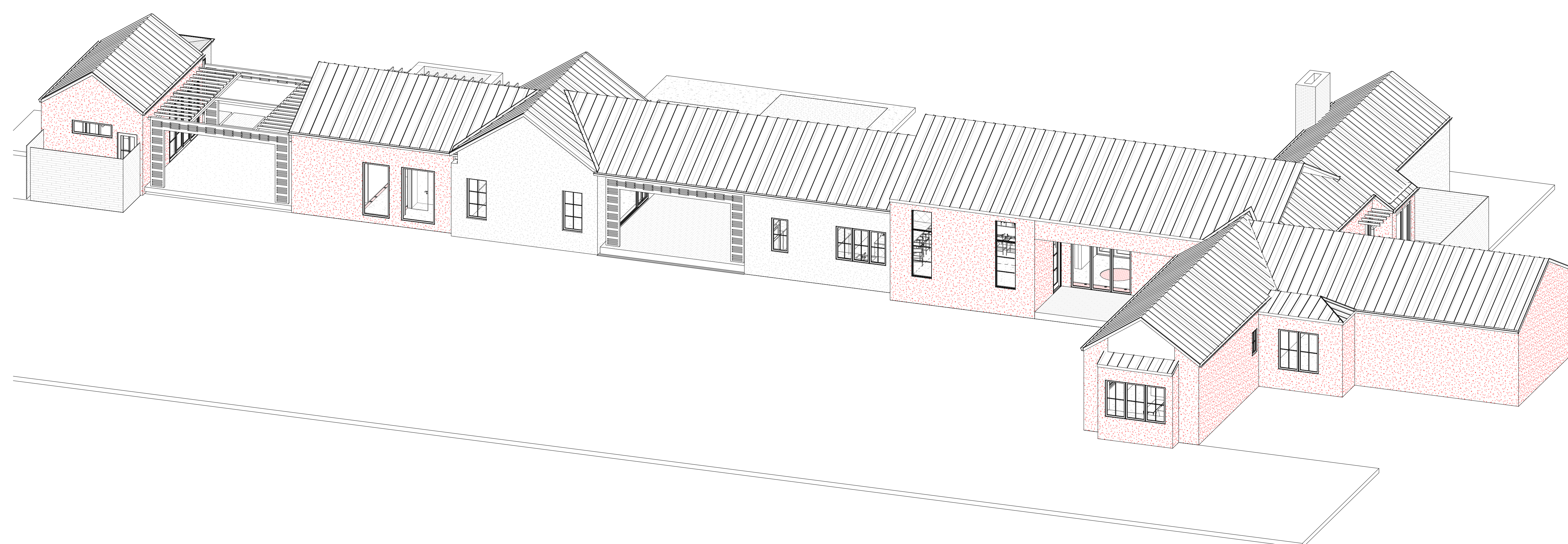
ISSUE FOR PERMIT | 03/06/2025  
PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS  
OWNER | HALLIE DAVIDSON

©2025 M·Gray Architecture  
THESE DOCUMENTS HAVE BEEN  
PREPARED SPECIFICALLY FOR  
HALLIE DAVIDSON  
THEY ARE NOT SUITABLE FOR USE ON  
OTHER LOCATIONS WITHOUT THE  
APPROVAL OF M·Gray A/E.

SCALE: As indicated

ELEVATIONS  
A-502

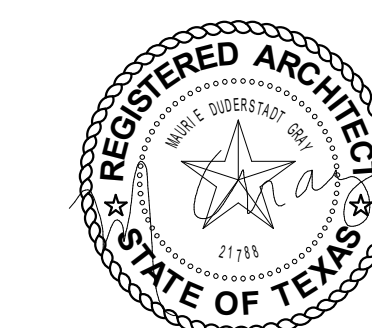
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3/6/2025 1:24:04 PM



2 ISO 2  
SCALE



1 ISO 1  
SCALE



03/06/2025

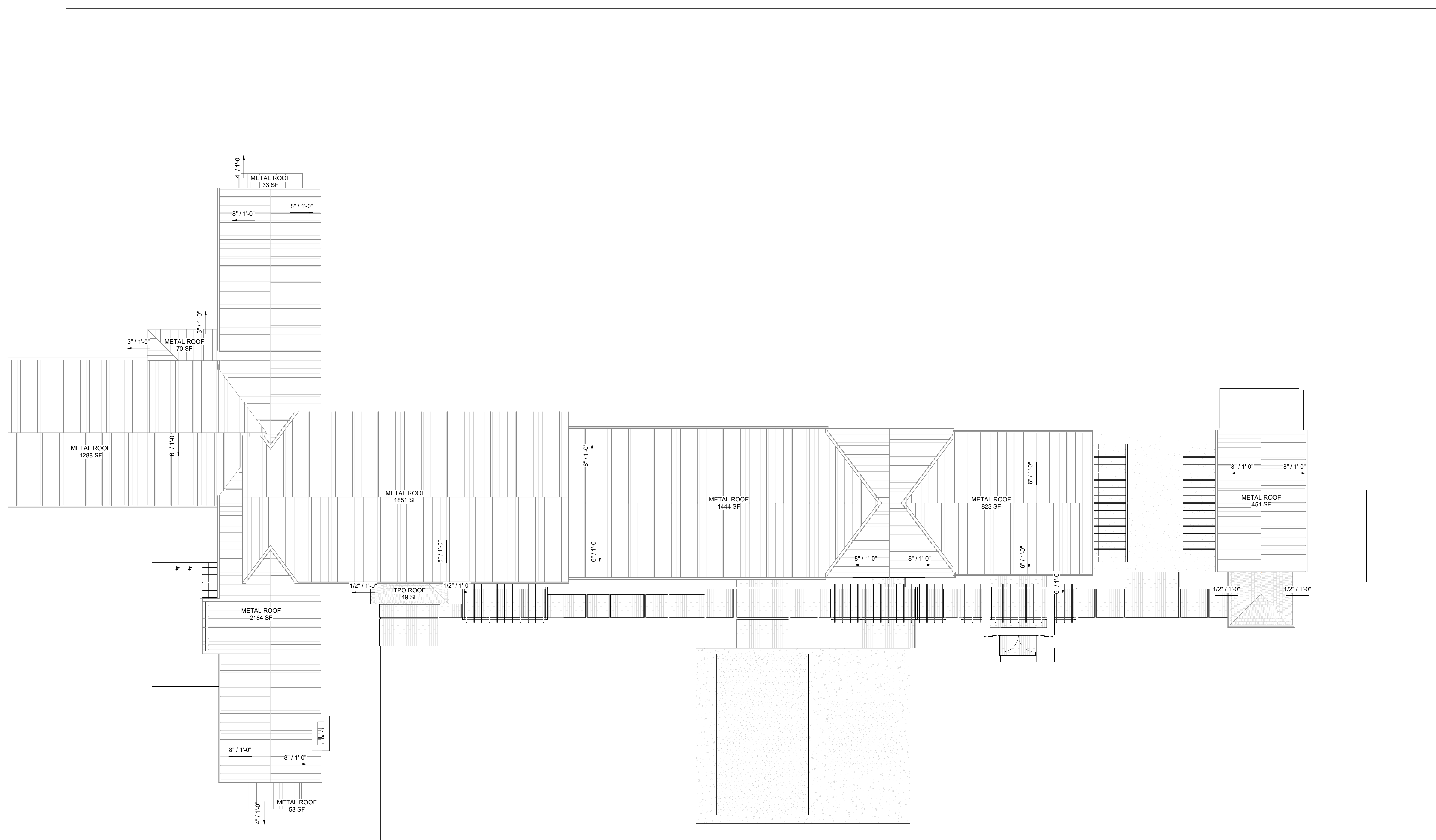
ARCHITECT OF RECORD  
M:GRAY ARCHITECTURE  
469-855-6275  
mgray@mgray.com

INTERIOR DESIGNER

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACTOR



**1** ROOF  
SCALE: 1/8" = 1'-0"

ISSUE FOR PERMIT | 03/06/2025

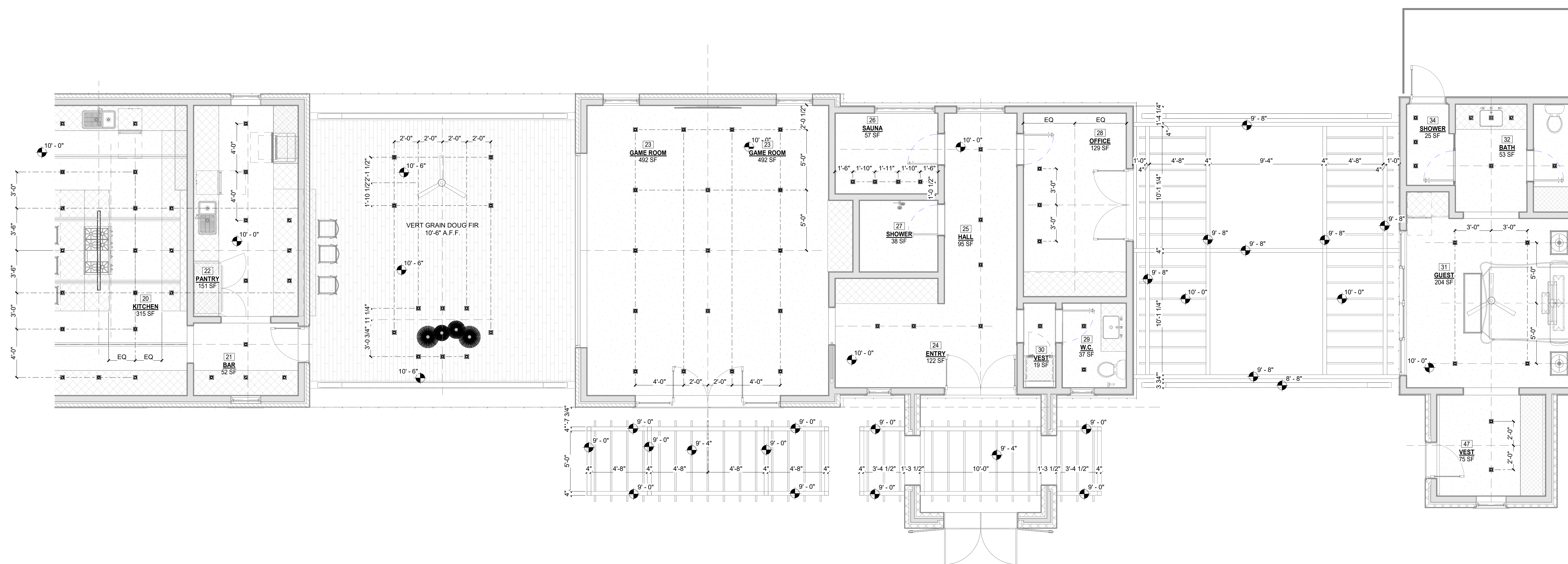
PROJECT ADDRESS | 588 CORNELIUS | ROCKWALL | TEXAS

OWNER | HILLE GARDENPORT

Copyright 2024 M:Gray Architecture  
THESE DOCUMENTS HAVE BEEN  
PREPARED SPECIFICALLY FOR  
HILLE GARDENPORT  
THEY ARE NOT SUITABLE FOR USE ON  
OTHER LOCATIONS WITHOUT THE  
APPROVAL OF M:GRAY A.

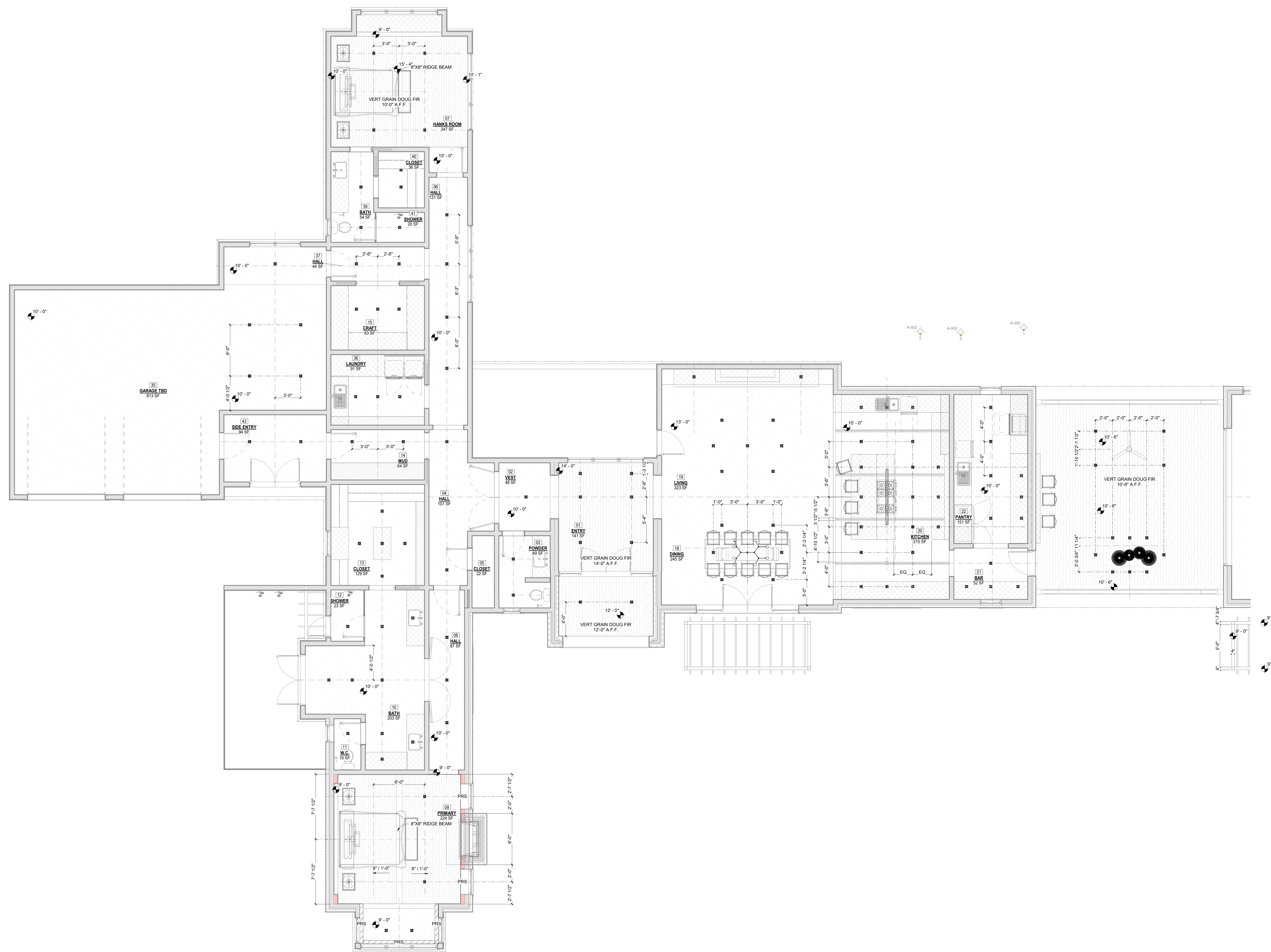
SCALE: 1/8" = 1'-0"

ROOF PLAN  
A-310



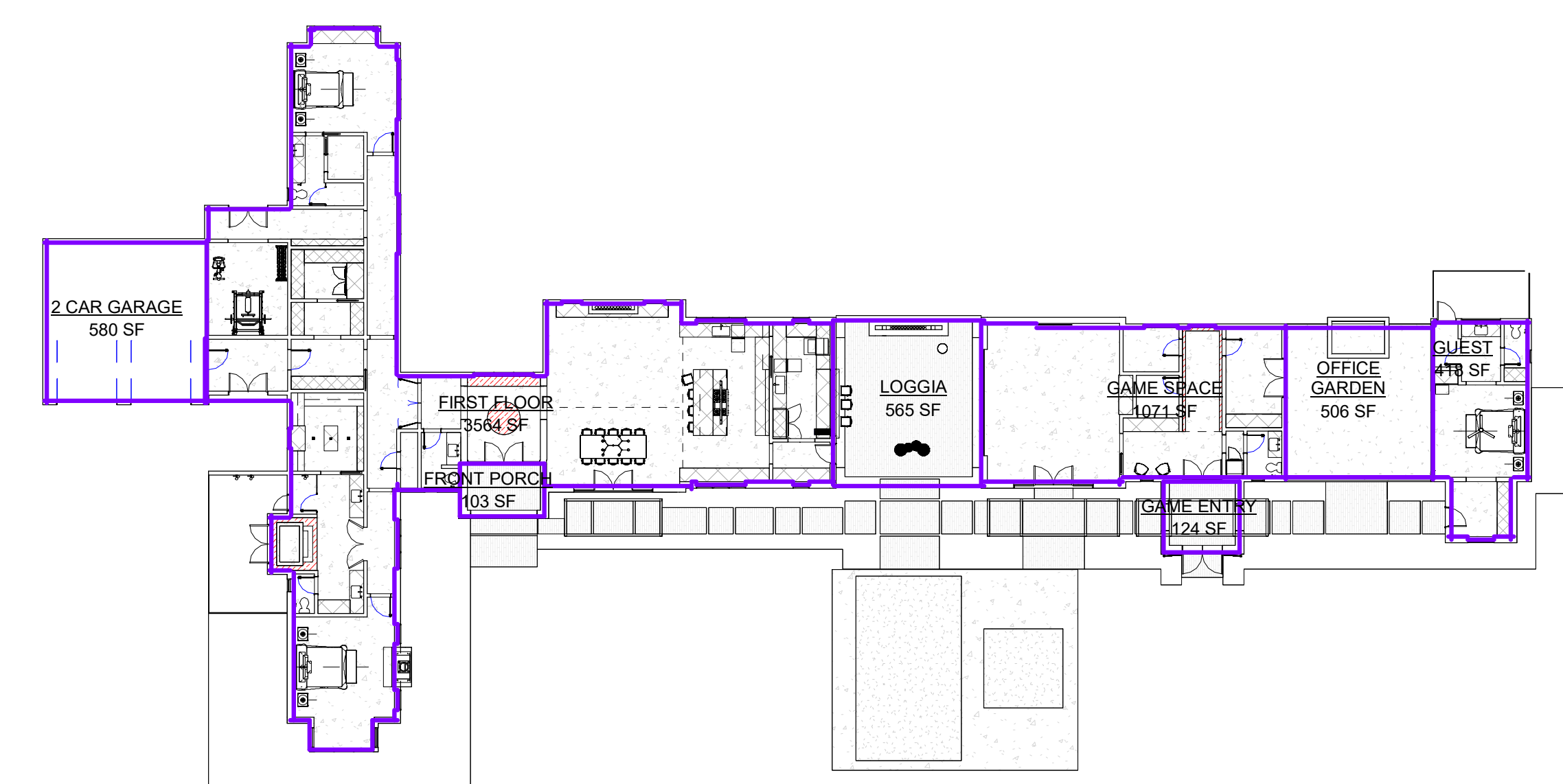
**1** CEILING L1 AREA - AREA B  
SCALE: 1/4" = 1'-0"



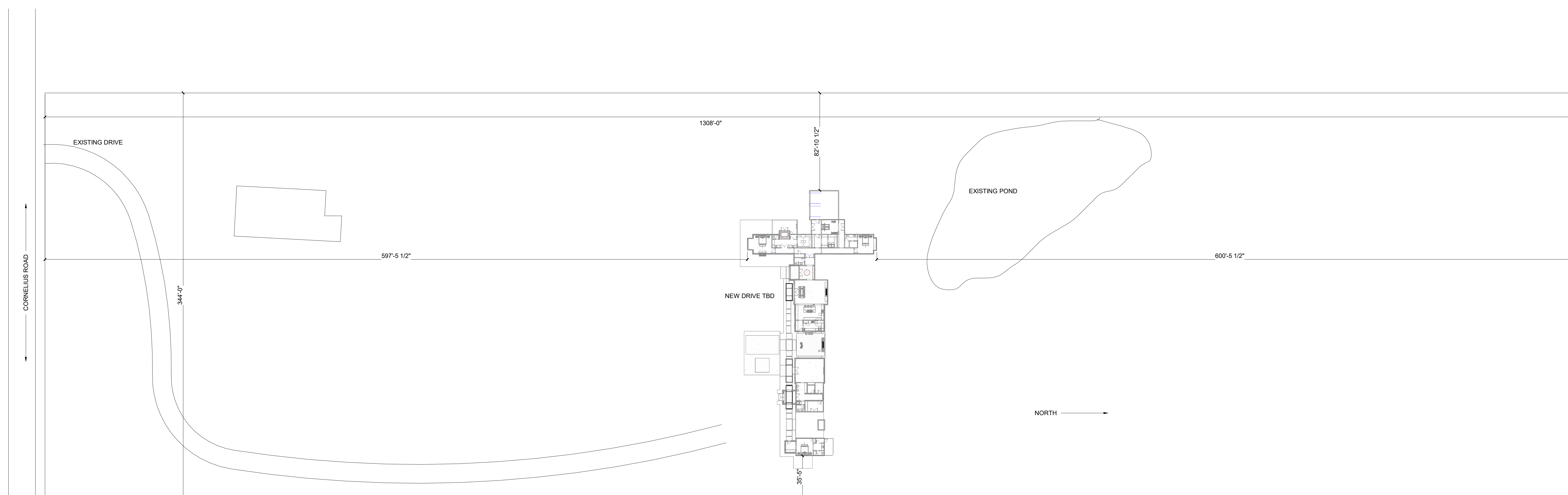


1 CEILING L1 AREA - AREA A  
SCALE: 1/4" = 1'-0"

BUILDING AREA			
Level	Name	Area	Comments
LEVEL 1	GAME SPACE	1071 SF	AC
LEVEL 1	GUEST	418 SF	AC
LEVEL 1	FIRST FLOOR	3564 SF	AC
AC		5652 SF	
LEVEL 1	2 CAR GARAGE	580 SF	NDN AC
LEVEL 1	LOGGIA	565 SF	NDN AC
LEVEL 1	FRONT PORCH	193 SF	NDN AC
LEVEL 1	OFFICE GARDEN	506 SF	NDN AC
LEVEL 1	GAME ENTRY	124 SF	NDN AC
NDN AC		1873 SF	
TOTAL UNDER ROOF: 8		8930 SF	



**1** LEVEL 1  
SCALE: 1" = 20'-0"



**3** SITE  
SCALE: 1" = 40'-0"

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A TEN (10) ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-02 OF THE W.M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Brandon Spruill of Spruill Homes on behalf of Hallie Fleming for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a ten (10) acre parcel of land identified as Tract 22-02 of the W.M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 588 Cornelius Road, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, General Residential District Standards, and Subsection 02.01, Agricultural

(AG) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF MAY, 2025.

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

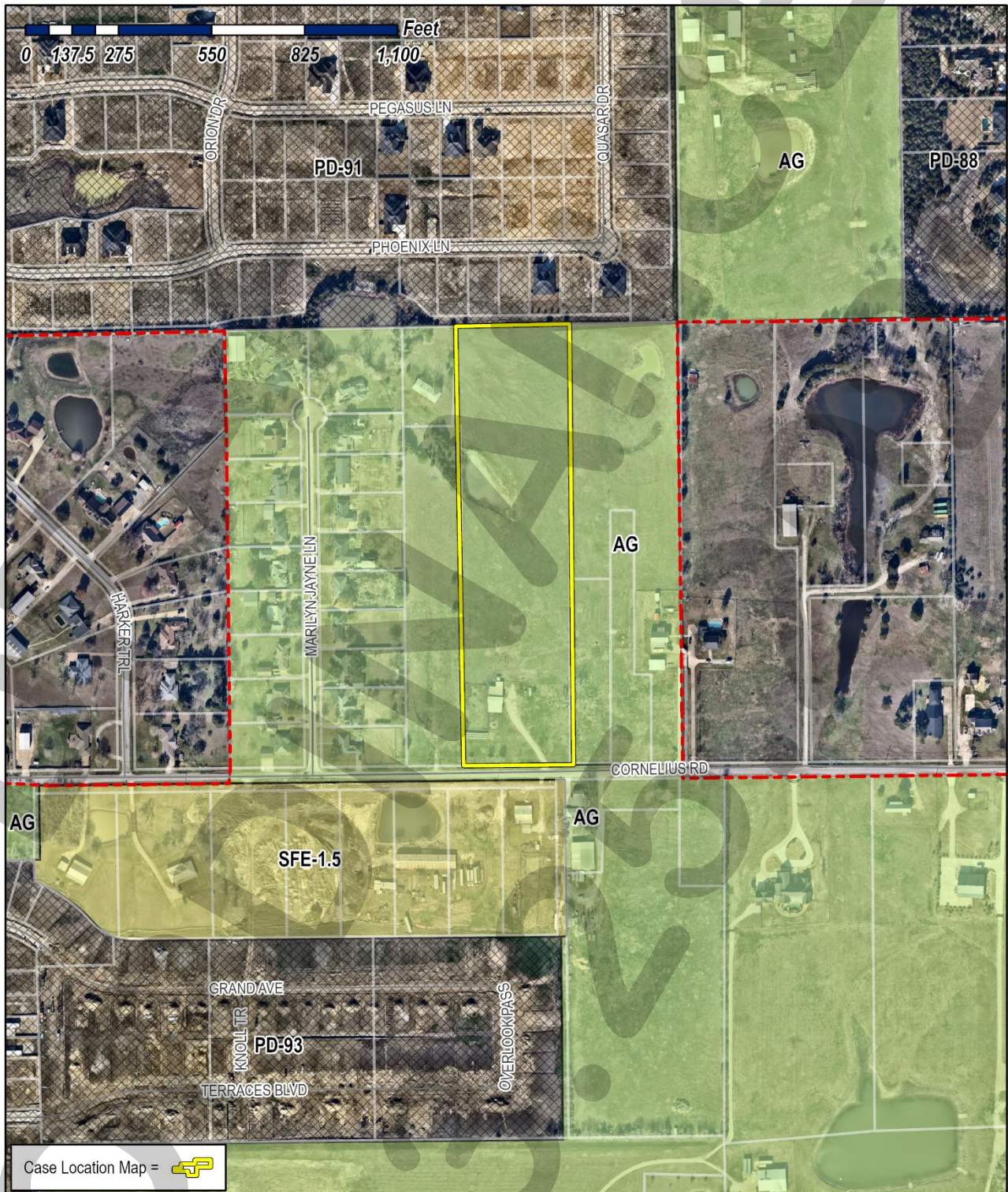
1<sup>st</sup> Reading: April 21, 2025

2<sup>nd</sup> Reading: May 5, 2025

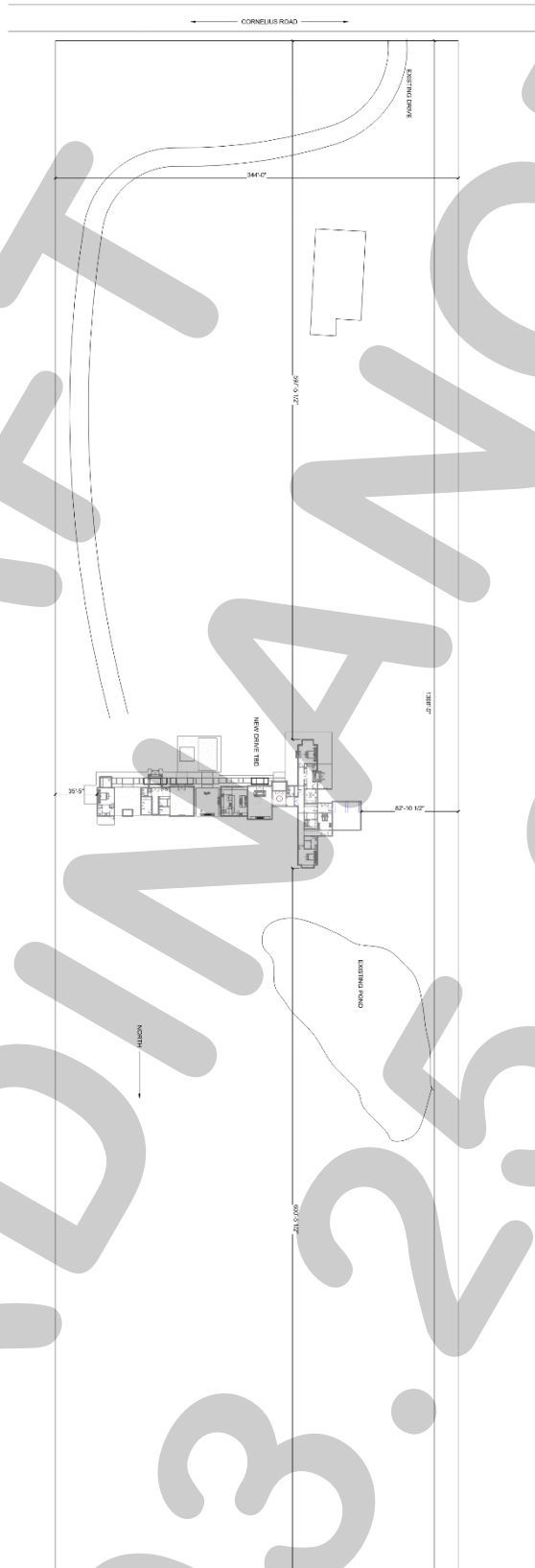
**Exhibit 'A':  
Location Map**

Address: 588 Cornelius Road

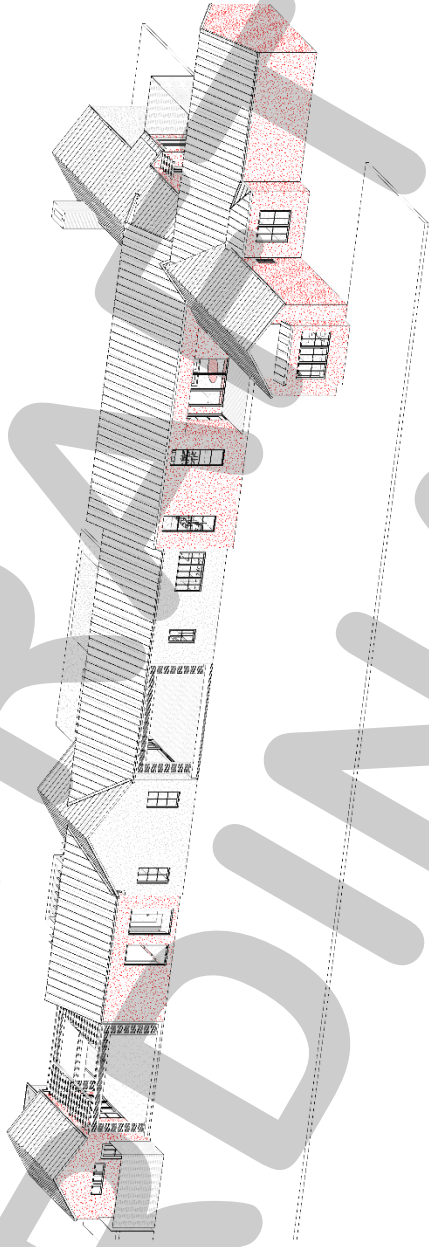
Legal Description: Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72



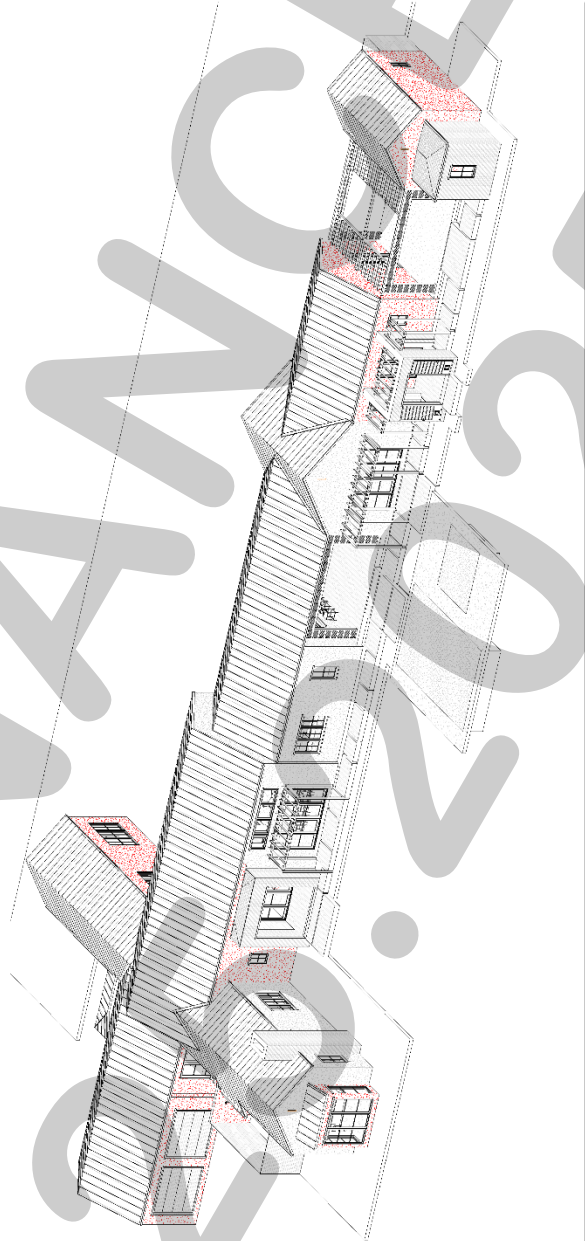
**Exhibit 'B':**  
*Residential Plot Plan*



**Exhibit 'C':**  
*Building Elevations*



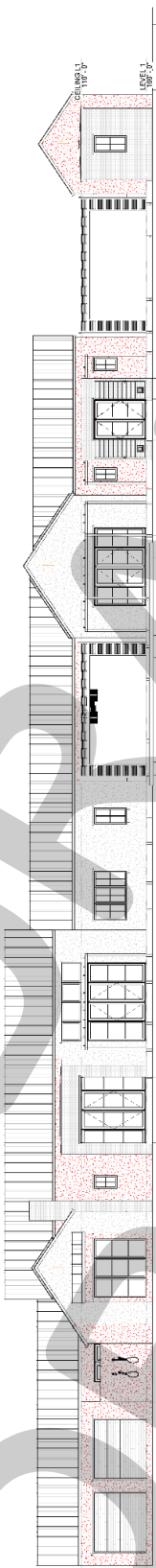
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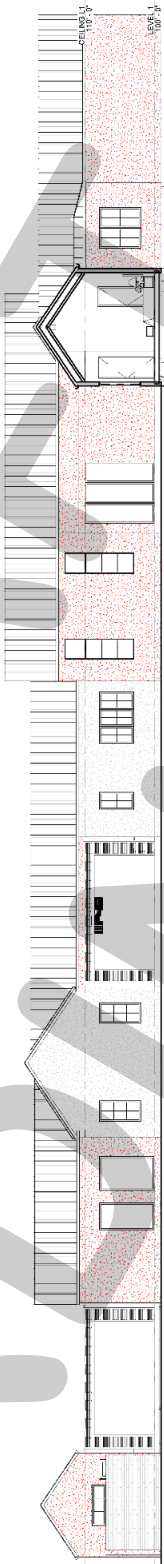
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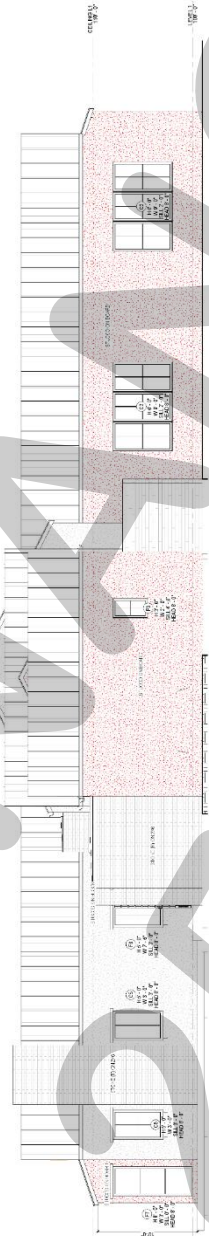
Exhibit 'C':  
Building Elevations



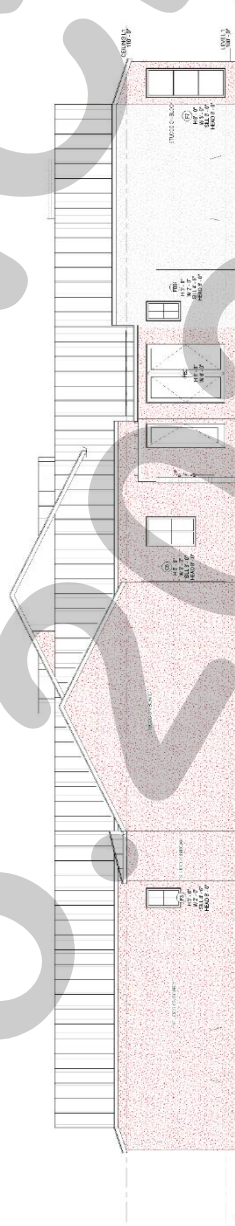
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: Z2025-014  
PROJECT NAME: SUP for Automotive Shop  
SITE ADDRESS/LOCATIONS: 1460 S T L TOWNSEND DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a Specific Use Permit (SUP) for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	03/19/2025	Approved w/ Comments

---

03/19/2025: Z2025-014; Specific Use Permit (SUP) for a Minor Automotive Repair Garage  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Minor Automotive Repair Garage on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (Z2025-014) in the lower right-hand corner of all pages on future submittals.

I.4 A Minor Automotive Repair Garage is defined as a "Minor repair or replacement of parts, tires, tubes, and batteries; diagnostic services; minor motor services such as grease, oil spark plugs, and filter changing; tire alignment; tune-ups, emergency road service; replacement of starters, alternators, hoses, brake parts, mufflers; performing state inspections and making minor repairs necessary to pass said inspection; servicing of air-conditioning systems, and similar minor services for motor vehicles except heavy land vehicles, but not including any operation named under Automobile repair, major, or any other similar use. All work must be performed inside an enclosed building. Vehicles shall not be stored on site for longer than 14 days." In this case, the Minor Automotive Repair Garage is for a company that adheres vehicle wraps and window tinting. The applicant has stated that no vehicles will be stored overnight.

M.5 Vehicles, equipment, parts or inventory shall not be stored outside overnight. This is a condition of approval of the Specific Use Permit.

I.6 The proposed use appears to meet all of the conditional land use standards for a Minor Automotive Repair Garage.

1.7 The subject property is zoned Commercial (C) District. In a Commercial (C) District, a Minor Automotive Repair Garage requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Minor Automotive Repair Garage is compatible with the surrounding businesses.

I.8 The proposed concept plan appears to meet the required parking for a Minor Automotive Repair Garage of 2 parking spaces per bay door.

M.9 Please review the attached Draft Ordinance prior to the March 25, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 1, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025.

I.11 The projected City Council meeting dates for this case will be April 21 (1st Reading) and May 5, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved
03/20/2025: Approved as long as you are not adding parking.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>

FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1460 T L Townsend Dr #116 Rockwall TX 75087

SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_

GENERAL LOCATION: \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Commercial (c) District CURRENT USE: Vacant

PROPOSED ZONING: Land use Permitted Specific Use Permit PROPOSED USE: Automotive Tint + Wraps

ACREAGE: \_\_\_\_\_ LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Alexander Trujillo	<input type="checkbox"/> APPLICANT	
CONTACT PERSON		CONTACT PERSON	
ADDRESS	2110 Glaston Rd	ADDRESS	
CITY, STATE & ZIP	Forney TX 75126	CITY, STATE & ZIP	
PHONE	972-900-5706	PHONE	
E-MAIL	orchid.tint.design@gmail.com	E-MAIL	

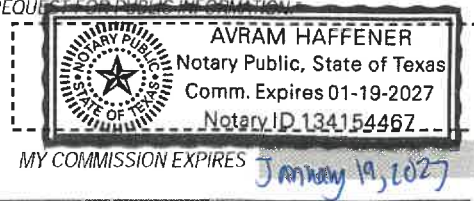
### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alexander Trujillo Arias [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

<sup>1</sup> I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 + 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2025.

OWNER'S SIGNATURE: \_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: \_\_\_\_\_





Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage at 1460 S. T.L. Townsend Drive

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

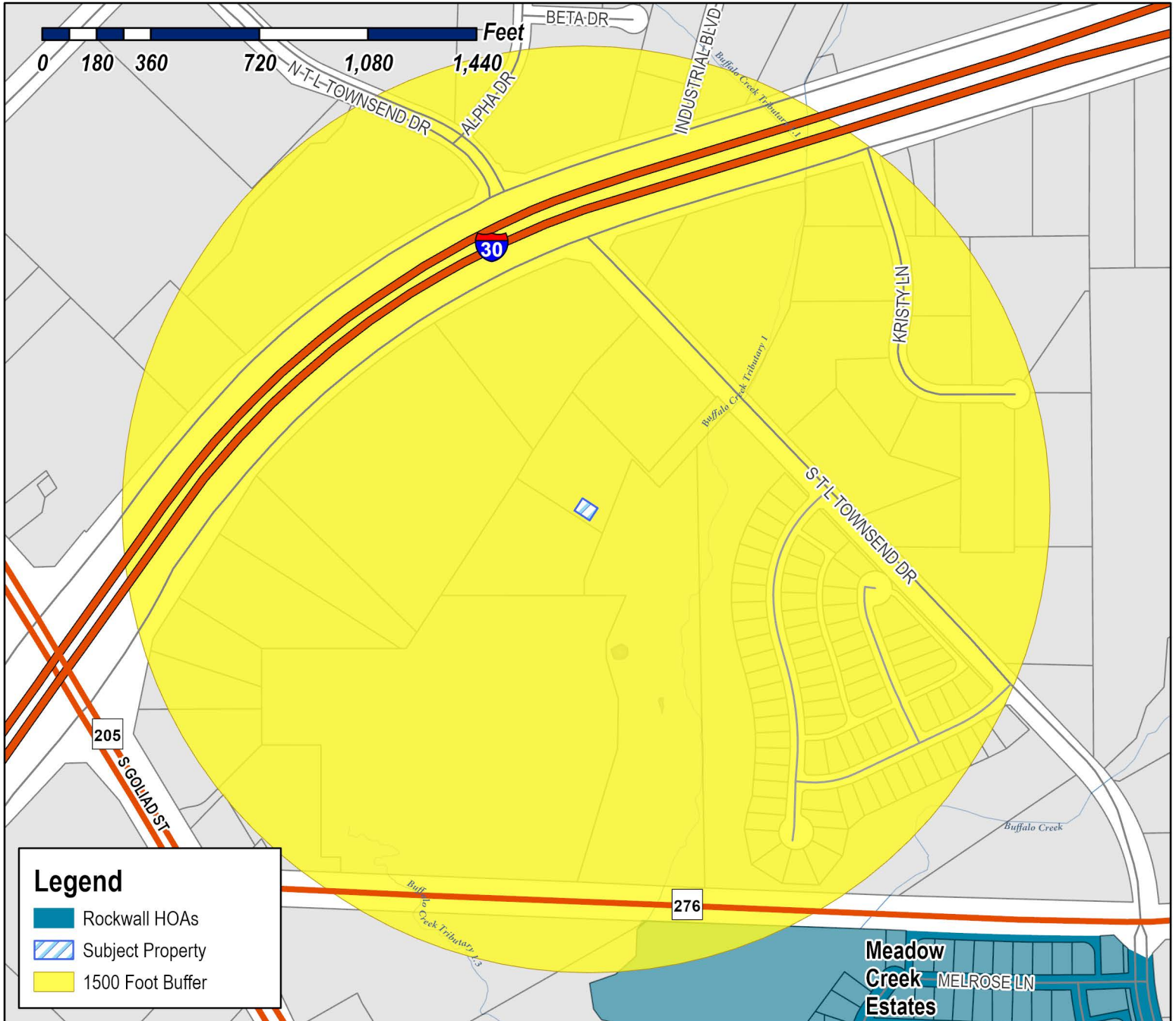




# City of Rockwall

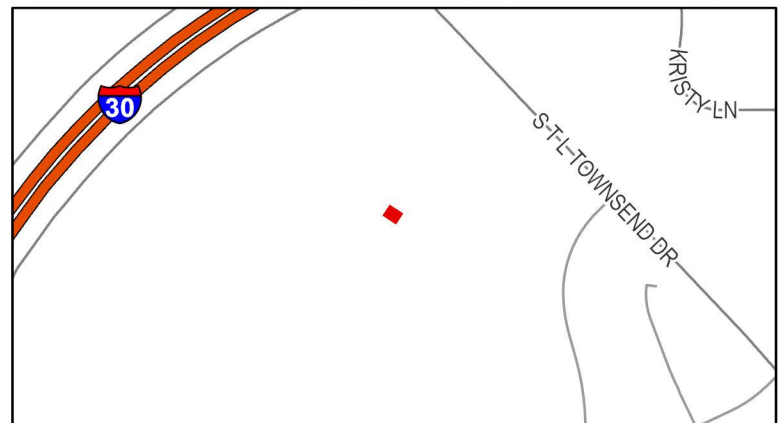
Planning & Zoning Department  
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**Case Number:** Z2025-014  
**Case Name:** SUP for a Minor Automotive Repair Garage  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1460 S. T.L. Townsend

**Date Saved:** 3/14/2025  
 For Questions on this Case Call (972) 771-7745





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## Neighborhood Notification Program [Z2025-014]

---

**From** Zavala, Melanie <MZavala@rockwall.com>

**Date** Wed 3/19/2025 9:50 AM

**Cc** Miller, Ryan <RMiller@rockwall.com>; Lee, Henry <HLee@rockwall.com>; Ross, Bethany <bross@rockwall.com>; Guevara, Angelica <AGuevara@Rockwall.com>

 2 attachments (862 KB)

Public Notice (03.17.2025).pdf; HOA Map (03.19.2025).pdf;

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, March 21, 2025. The Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-014: Specific Use Permit (SUP) for a Minor Automotive Repair Garage**

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

Thank you,

## **Melanie Zavala**

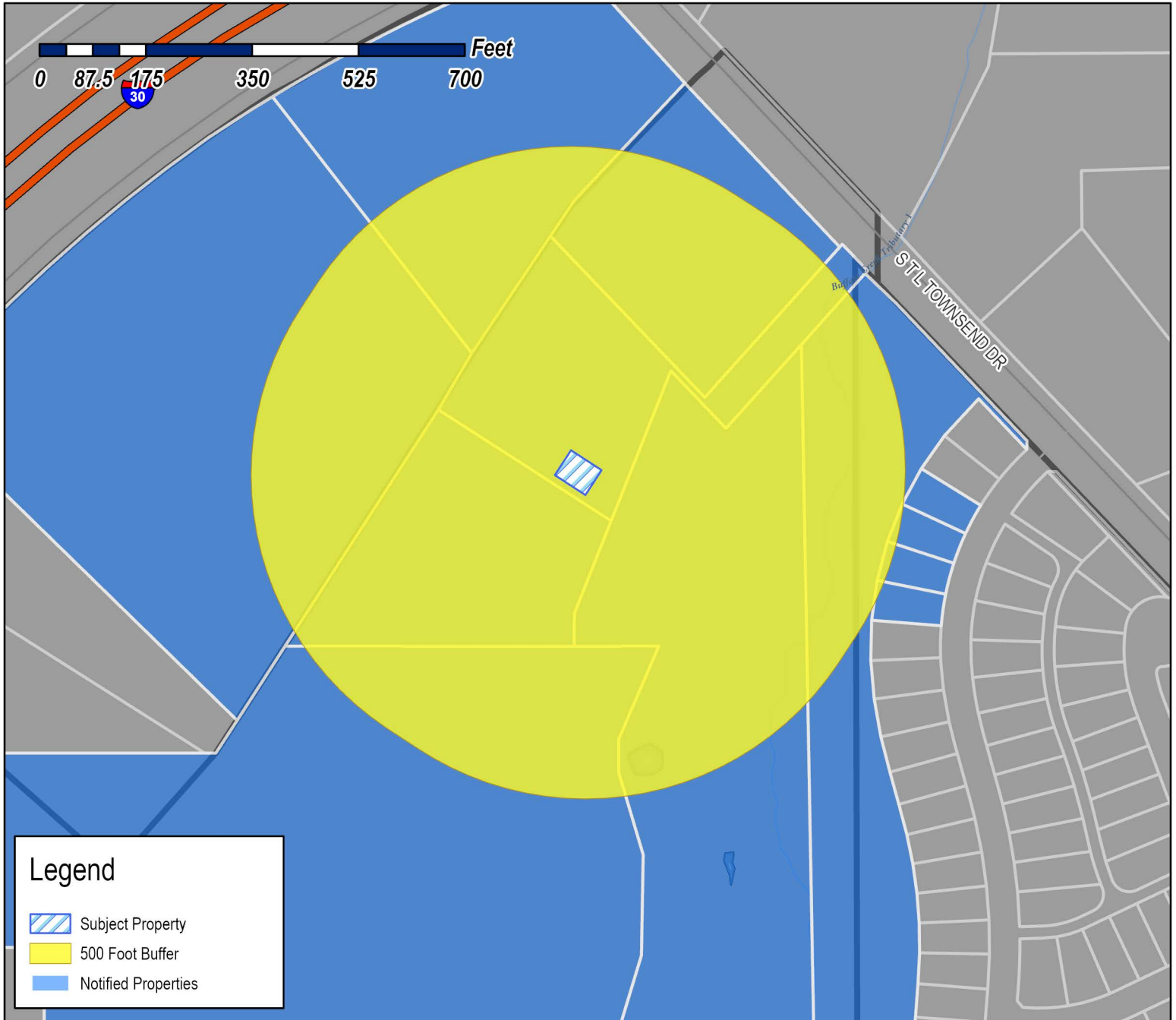
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

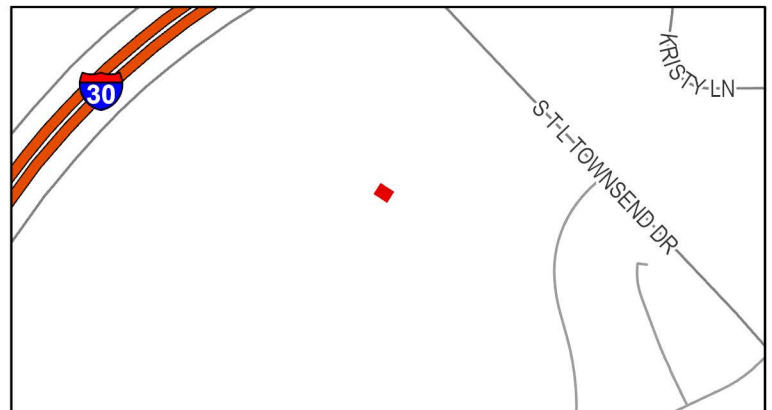
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**Case Number:** Z2025-014  
**Case Name:** SUP for a Minor Automotive Repair Garage  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1460 S. T.L. Townsend Drive

**Date Saved:** 3/14/2025

For Questions on this Case Call: (972) 771-7745





RESIDENT  
1225 HWY 276  
ROCKWALL, TX 75032

RESIDENT  
1245 HWY276 DR  
ROCKWALL, TX 75032

JACKSON AUTOMOTIVE REAL ESTATE INV LLC  
DBA TOYOTA OF ROCKWALL  
1250 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1290 I30  
ROCKWALL, TX 75032

SARO PARTNERS LLC  
1450 T L TOWNSEND  
ROCKWALL, TX 75032

RESIDENT  
1460 S TOWNSEND DR  
ROCKWALL, TX 75032

RESIDENT  
1480 S T L TOWNSEND DR  
ROCKWALL, TX 75032

FARR TRAVIS AND MELLISA  
1539 TROWBRIDGE CIRCLE  
ROCKWALL, TX 75032

COURT MONDA J  
1545 Trowbridge Cir  
Rockwall, TX 75032

RESIDENT  
1551 TROWBRIDGE CIR  
ROCKWALL, TX 75032

MOTA SAMUEL  
1557 Trowbridge Cir  
Rockwall, TX 75032

CITY OF HEATH  
200 LAURENCE DRIVE  
HEATH, TX 75032

CTE PHASE I LP  
2266 LAFAYETTE LNDG  
ROCKWALL, TX 75032

FENG YI  
2757 SCENIC DR  
PLANO, TX 75025

MSC ROCKWALL LLC  
725 PARK CENTER DRIVE  
MATTHEWS, NC 28105

COSTCO WHOLESALE CORP  
PROPERTY TAX DEPT 1049  
999 LAKE DR  
ISSAQUAH, WA 98027

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Hold a public hearing to discuss and consider a request by Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-014: Specific Use Permit (SUP) for Minor Automotive Repair Garage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Alexander Trujillo  
Owner, Orchid Tint and Designs  
1460 T L Townsend Dr #116  
Rockwall, TX 75087  
(972) 900 5706

3/14/2025

City of Rockwall Planning and Zoning Department

Dear Planning and Zoning Department,

I am writing to formally request a Special Use Permit to operate our new business, Orchid Tint and Designs, at 1460 T L Townsend Dr #116 Rockwall, TX 75087. Our business specializes in window tinting services, as well as paint protection wraps, within a commercial zone.

To provide additional clarity about our operations:

- **\*\*By-Appointment-Only Service\*\***: All vehicle services will be conducted strictly by appointment, ensuring a controlled and organized flow of customer visits.
- **\*\*Same-Day Service\*\***: Services will be completed on the same day, and no vehicles will be stored on-site overnight.
- **\*\*Minimal Disruption\*\***: Our operations are designed to minimize impact on neighboring businesses and traffic within the area.

We are committed to adhering to all regulations and maintaining a professional, clean, and community-conscious establishment. Our business will contribute to the local economy by providing specialized vehicle services while respecting the integrity of the commercial zone.

I kindly ask for your consideration of this request, and I am happy to provide any additional documentation or answer questions that might assist in your evaluation process. Thank you for your time and support.

Sincerely,  
Alexander Trujillo  
Owner, Orchid Tint and Designs



# Orchid Consortium LLC



x Two Parking Spaces

Bay door.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINOR AUTOMOTIVE REPAIR GARAGE* ON A 2.692-ACRE PARCEL OF LAND IDENTIFIED LOT 5, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Alexander Trujillo for the approval of a *Specific Use Permit (SUP)* for *Minor Automotive Repair Garage* on a 2.692-acre parcel of land identified Lot 5, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1460 T. L. Townsend Drive, Suite 116, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Minor Automotive Repair Garage* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

Z2025-014: SUP for a Minor Automotive Repair Garage at 1460 T.L. Townsend Drive  
Ordinance No. 25-XX; SUP # S-3XX

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *General Retail Store* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Minor Automotive Repair Garage* shall not have any *Outside Storage* associated with the use.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5<sup>TH</sup> DAY OF MAY, 2025.**

---

Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 21, 2025

2<sup>nd</sup> Reading: May 5, 2025

**Exhibit 'A'**  
**Location Map**

Legal Description: Lot 5, Block A, Platinum Storage Addition  
Address: 1460 T.L. Townsend Drive

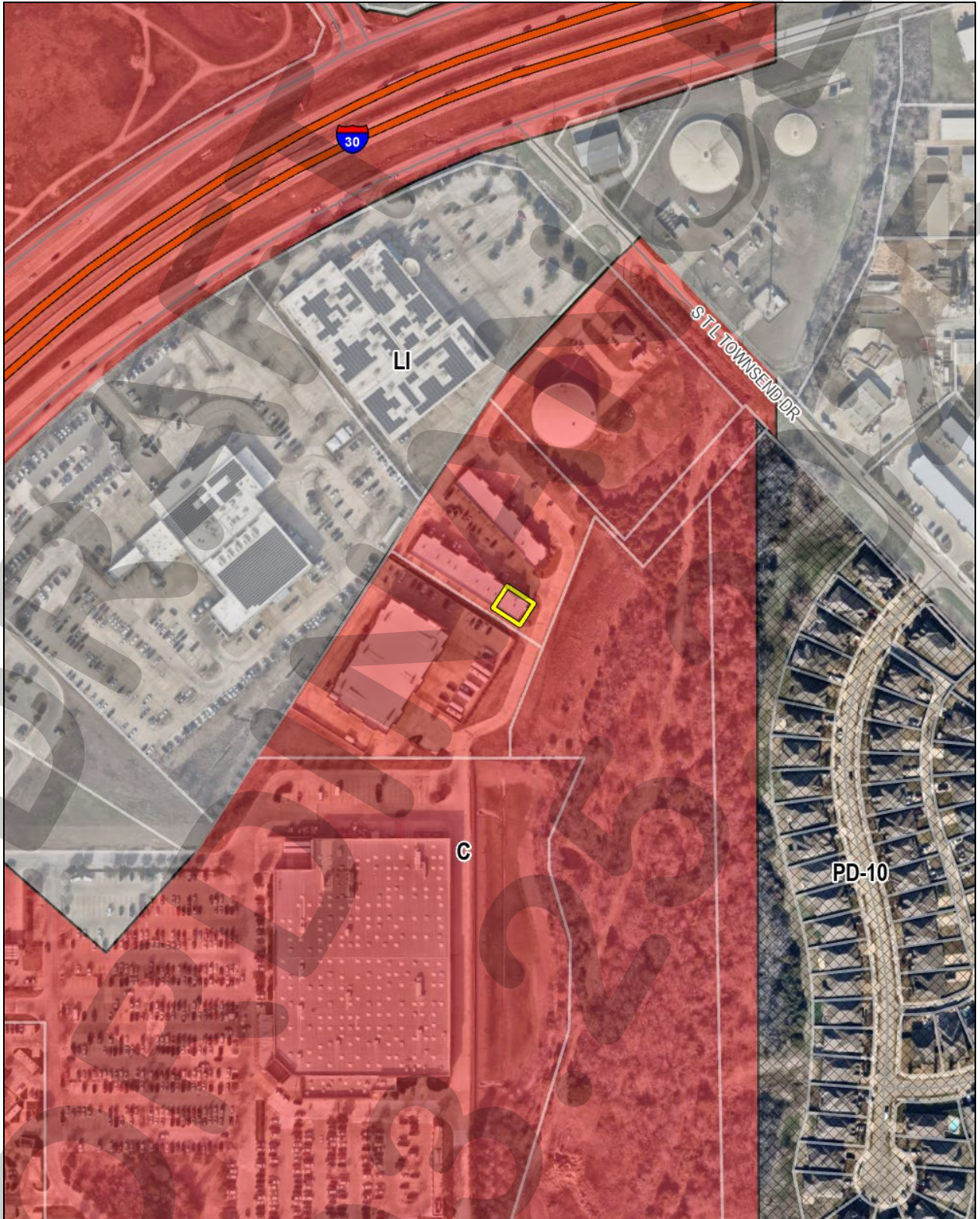




Exhibit 'B':  
Site Plan



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/20/2025

PROJECT NUMBER: Z2025-015  
PROJECT NAME: SUP for Residential Infill  
SITE ADDRESS/LOCATIONS: 403 S CLARK ST, B

CASE CAPTION: Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	03/20/2025	Approved w/ Comments

03/20/2025: Z2025-015; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit for 403B S. Clark Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2025-015) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the adjacent to the B.F. Boydston Subdivision which has been in existence for more than ten (10) years, consists of 112 lots, and is more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Guest Quarters/Secondary Living Unit requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District.

I.7 The Conditional Land Use Standards for the Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit are as follows:

- (1) Guest Quarters or Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home.
- (2) The area of such quarters shall not exceed 30% of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.

I.8 The proposed Guest Quarters/Secondary Living Unit will have a building footprint of 630 SF. The proposed square footage of the primary structure is 3,110 SF, which would allow a maximum Guest Quarters/Secondary Living Unit size of 933 SF. Based on this the proposed structure, which is only 626 SF, appears to conform to the requirements for Guest Quarters/Secondary Living Unit.

I.7 The height of the proposed Guest Quarters is 17-feet. The maximum height permitted for structures in a Single-Family 7 (SF-7) District is 32-feet. Based on this, the proposed height is in conformance with the development standards.

I.8 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

1. The development of the Subject Property shall generally conform to the Site Plan and Survey as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
2. The construction of a Guest Quarters/Secondary Living Unit on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
3. The Guest Quarters/Detached Garage shall not exceed a maximum size of 630 SF.
4. The Guest Quarters/Detached Garage shall not incorporate full kitchen facilities.
5. The Guest Quarters/Detached Garage shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

I.9 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size. If a property has an existing accessory building greater than 144 SF, no additional accessory buildings are permitted. In this case, the proposed guest quarters/secondary living unit is 626 SF and will be the only accessory structure on the subject property. Based on this, the building meets all of the requirements for a Guest Quarters/Secondary Living Unit.

1.10 Garage Requirements. Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the proposed garage is located 8-feet, ½-inch in front of the front façade of the home. This will be a discretionary decision for the Planning and Zoning Commission.

M.11 Ordinances. Please review the attached draft ordinance prior to the April 15, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by April 1, 2025.

I.12 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.13 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 15, 2025.

I.14 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

I.15 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments
03/20/2025: 1. Approx location of abandoned 6" sewer line. Will need to remove or fill pipe with a "structural" filler prior to placing structure over. City will not be liable/responsible			

- for any structural damage due to abandoned pipe
- 2. Need to show easement line. Home and fences cannot be located within easement.
- 3. Driveway to be constructed of reinforced concrete
- 4. Any proposed fencing for this property will need to span the existing 8" sewer main. You will need to keep at least 5' of separation on each side of the sewer main from the fence columns/posts.

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Must pay water, sewer, and roadway impact fees.
- Retaining walls 3' and over must be designed and signed/sealed by a registered engineer.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved w/ Comments

03/17/2025: Existing structure on Lot 1 will become 403-A South Clark St, Rockwall, TX 75087  
 New construction on Lot 2 will become 403-B South Clark St, Rockwall, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved
No Comments			





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

403 <sup>BOKA</sup> Clark St. Rockwall TX 75087

SUBDIVISION

Shaw Addition

LOT

2

BLOCK

1

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Residential

CURRENT USE

Land

PROPOSED ZONING

Residential

PROPOSED USE

New Build

ACREAGE

0.42

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

JMS Custom Homes

APPLICANT

Javier Silva

CONTACT PERSON

Javier Silva

CONTACT PERSON

Javier Silva

ADDRESS

58 Windsor DR.

ADDRESS

58 Windsor DR.

CITY, STATE & ZIP

Rockwall TX 75082

CITY, STATE & ZIP

Rockwall TX 75082

PHONE

972-814-9462

PHONE

972-814-9462

E-MAIL

support@JMSCustomHomes.net

E-MAIL

support@JMSCustomHomes.net

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

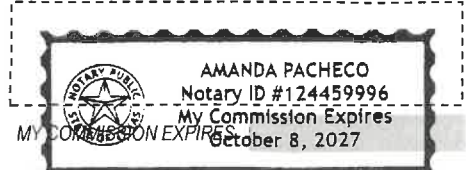
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

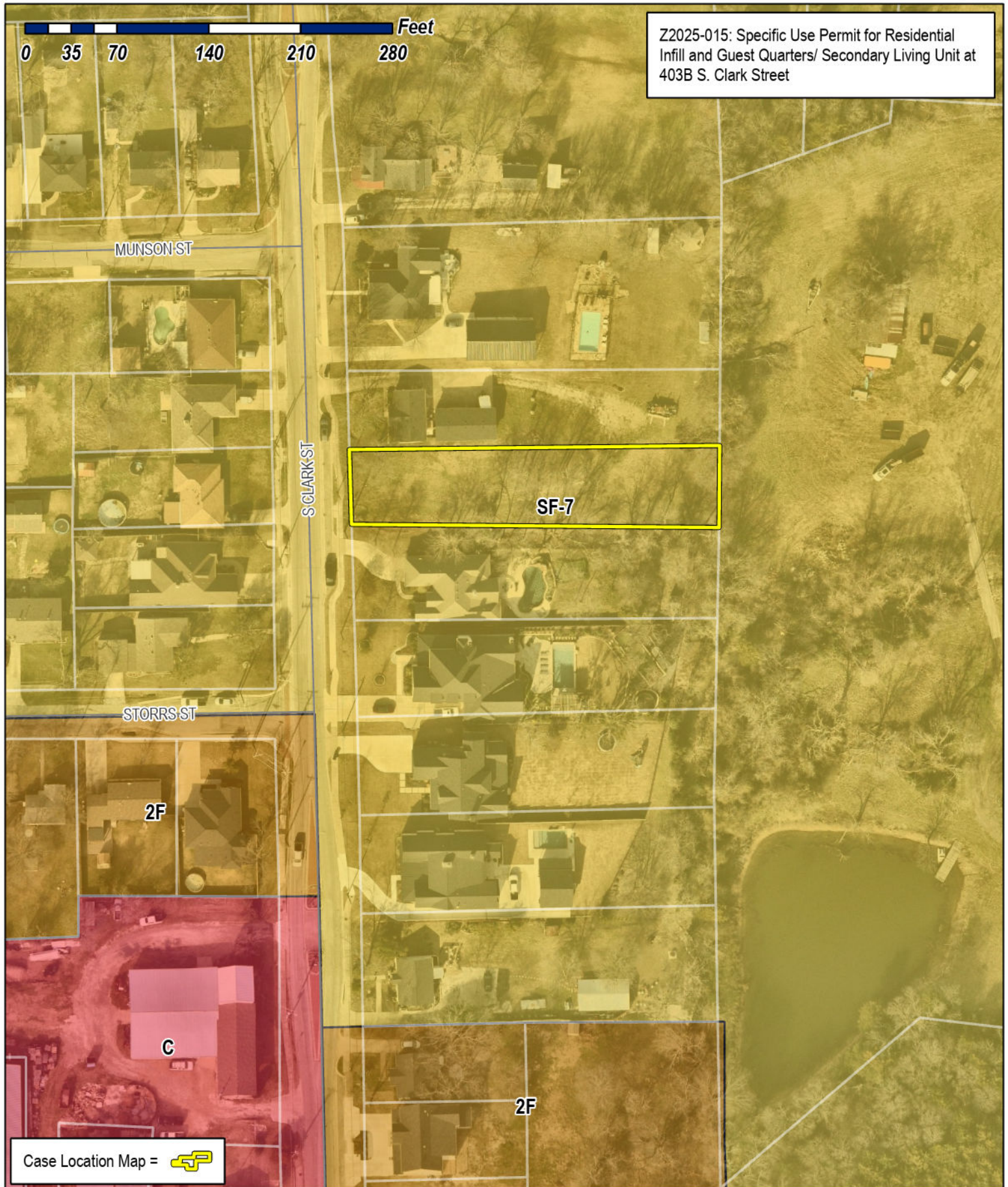
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2025

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-015: Specific Use Permit for Residential Infill and Guest Quarters/ Secondary Living Unit at 403B S. Clark Street

0 35 70 140 210 280 Feet

MUNSON ST

S CLARK ST

STORRS ST

SF-7

2F

C

2F

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

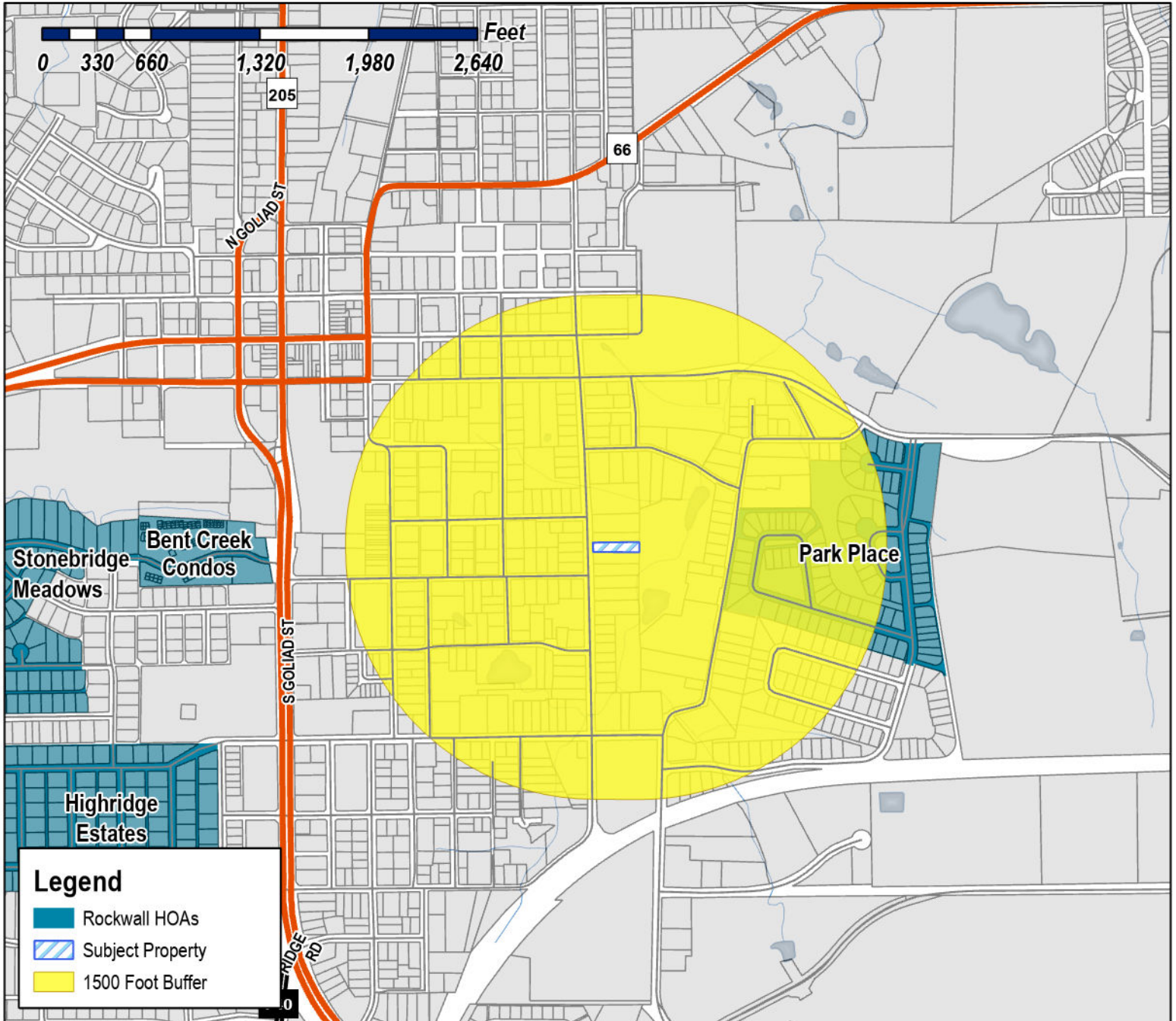




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**Case Number:** Z2025-015  
**Case Name:** Specific Use Permit (SUP) for Residential Infill & Guest Quarters/ Secondary Living Unit  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 403B S. Clark Street

**Date Saved:** 3/14/2025  
 For Questions on this Case Call (972) 771-7745





**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-015]  
**Date:** Wednesday, March 19, 2025 9:43:50 AM  
**Attachments:** [Public Notice \(03.17.2025\).pdf](#)  
[HOA Map \(03.19.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, March 21, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 15, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 21, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-015: Specific Use Permit (SUP) for a Residential Infill and a Guest Quarters/ Secondary Living Unit  
Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

Thank you,

*Melanie Zavala*

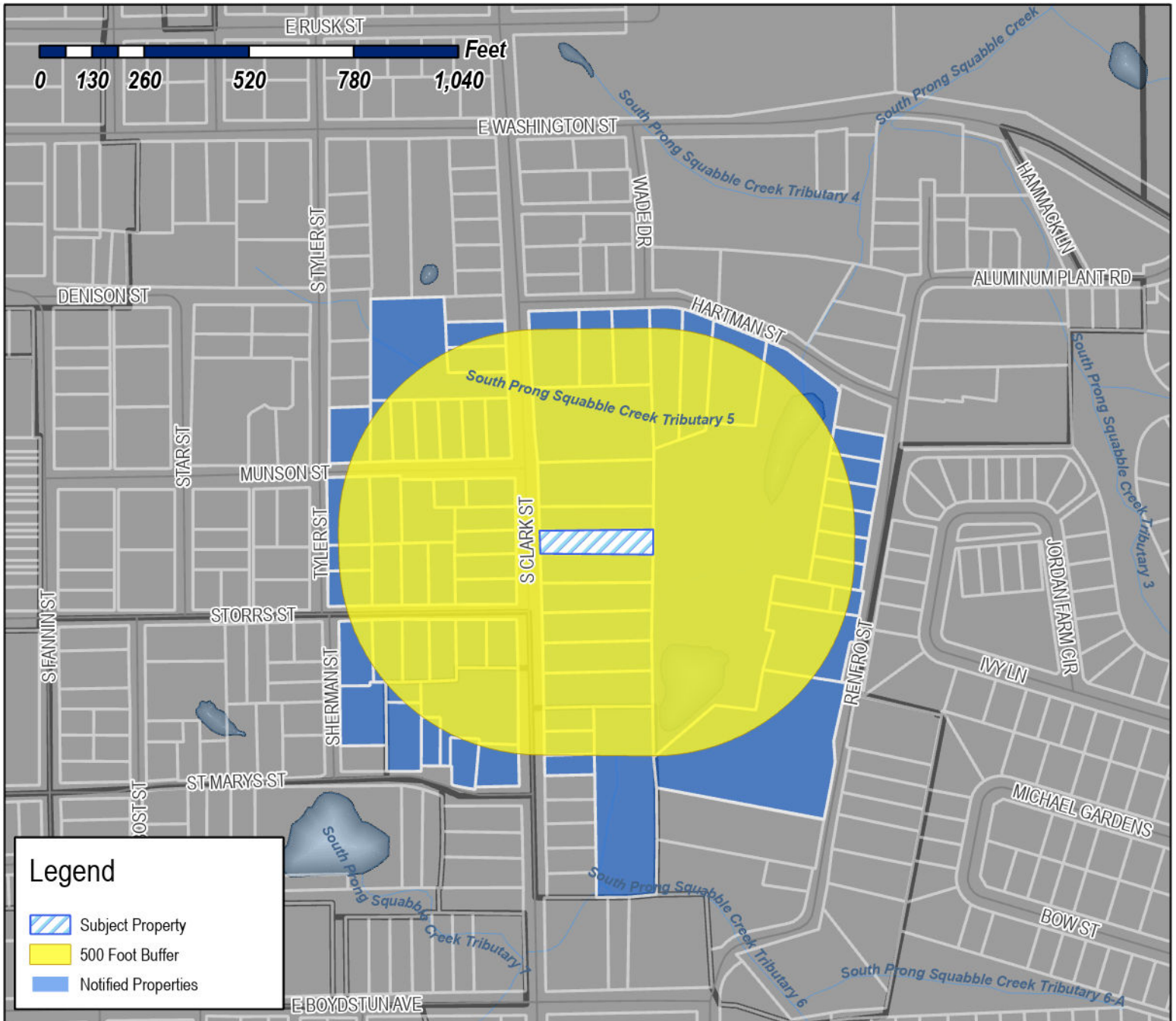
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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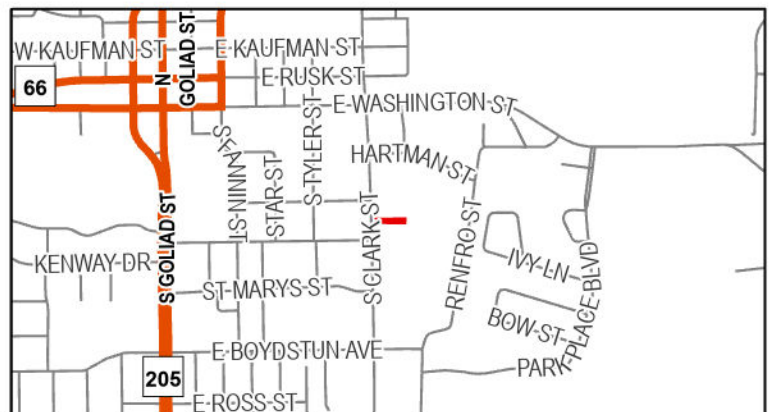
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**Case Number:** Z2025-015  
**Case Name:** Specific Use Permit (SUP) for Residential Infill & Guest Quarters/ Secondary Living Unit  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 403B S. Clark Street

**Date Saved:** 3/14/2025

For Questions on this Case Call: (972) 771-7745



MCCALLUM V LLC  
DARRELL ALAN MCCALLUM AND SHARON  
FRANCES MCCALLUM AS MEMBERS  
1 SOAPBERRY LN  
ROCKWALL, TX 75087

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

GADDIS DANNY E  
12922 EPPS FIELD RD  
FARMERS BRANCH, TX 75234

HOGUE MIKE  
1498 HUBBARD DRIVE  
FORNEY, TX 75126

BOREN TERRY L ETUX  
207 GNARLY OAKS WAY  
LTL RVR ACAD, TX 76554

LOWREY SUSAN  
2070 PONTCHARTRAIN DR  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

CASTRO DEVELOPMENT LLC  
2212 Ridge Crest Dr  
Richardson, TX 75080

MUNSON PARTNERS 1 LLC  
2241 AUBURN AVE  
DALLAS, TX 75214

CONFIDENTIAL  
2420 Conrad Cir  
Heath, TX 75032

CAUBLE LINDA  
301 S CLARK ST  
ROCKWALL, TX 75087

BURGESS JULIA ANN  
302 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
306 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
307 S CLARK ST  
ROCKWALL, TX 75087

STARK ROBERT SCOTT  
3090 N GOLIAD ST SUITE 102 #213  
ROCKWALL, TX 75087

CLARK STREET VENTURES LLC  
401 COUNTRY RIDGE RD  
ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH  
401 SOUTH CLARK STREET  
ROCKWALL, TX 75087

RESIDENT  
402 RENFRO ST  
ROCKWALL, TX 75087

SADLER LESLIE A  
402 S CLARK ST  
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE  
403 S CLARK STREET  
ROCKWALL, TX 75087

RESIDENT  
404 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
404 S CLARK ST  
ROCKWALL, TX 75087

BRAMLETT DAVID KYLE & DEIDRE MONIQUE  
405 S CLARK ST  
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA  
405 TYLER ST  
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA  
405 TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
406 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
406 S CLARK ST  
ROCKWALL, TX 75087

BOWEN CHASE AND  
PERRY BOWEN  
407 S. CLARK ST.  
ROCKWALL, TX 75087

RESIDENT  
408 RENFRO ST  
ROCKWALL, TX 75087

GADDIS CAMILLE D  
408 SOUTH CLARK STREET  
ROCKWALL, TX 75087

RESIDENT  
410 RENFRO ST  
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA  
410 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
412 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
500 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
501 SHERMAN ST  
ROCKWALL, TX 75087

HUDSON KATIE  
501 MUNSON ST  
ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN  
501 S CLARK ST  
ROCKWALL, TX 75087

HOLLAND TRENTON A AND  
ROD HOLLAND  
502 MUNSON STREET  
ROCKWALL, TX 75087

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

RICHARDSON JEANETTE  
503 MUNSON ST  
ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA  
503 SOUTH CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
504 MUNSON ST  
ROCKWALL, TX 75087

RESIDENT  
505 MUNSON ST  
ROCKWALL, TX 75087

RESIDENT  
506 RENFRO ST  
ROCKWALL, TX 75087

EARNHEART JOHN L  
506 MUNSON ST  
ROCKWALL, TX 75087

WYCKOFF MICHELE M  
507 MUNSON ST  
ROCKWALL, TX 75087

LECOUR DAVID & RENEE  
507 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
508 MUNSON ST  
ROCKWALL, TX 75087

CIELO BLUE FAMILY HOLDINGS LLC - SERIES 1  
508 HIGHVIEW LANE  
ROCKWALL, TX 75087

RESIDENT  
509 MUNSON ST  
ROCKWALL, TX 75087

CASTRO RENE AND BETSY  
509 SOUTH CLARK STREET  
ROCKWALL, TX 75087

RESIDENT  
510 S CLARK  
ROCKWALL, TX 75087

RESIDENT  
511 MUNSON ST  
ROCKWALL, TX 75087

RESIDENT  
511 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
512 S CLARK  
ROCKWALL, TX 75087

RESIDENT  
513 MUNSON ST  
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND  
NORMA L CRUZ HERNANDEZ  
513 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
601 STORRS ST  
ROCKWALL, TX 75087

LEE STEPHANIE  
602 Storrs St  
Rockwall, TX 75087

JONES PEGGY  
604 STORRS ST  
ROCKWALL, TX 75087

DAVIS JIMMY JACK  
605 STORRS ST  
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D  
606 STORRS STREET  
ROCKWALL, TX 75087

RESIDENT  
607 ST MARY  
ROCKWALL, TX 75087

HALDEMAN MICHAEL  
607 STORRS ST  
ROCKWALL, TX 75087

RESIDENT  
608 STORRS ST  
ROCKWALL, TX 75087

RESIDENT  
609 STORRS ST  
ROCKWALL, TX 75087

JOHNSTON SHERRI A  
610 STORRS ST  
ROCKWALL, TX 75087

H & M TOOL AND DIE CO  
611 SAINT MARY ST  
ROCKWALL, TX 75087

RESIDENT  
612 STORRS ST  
ROCKWALL, TX 75087

RESIDENT  
613 ST MARYS PL  
ROCKWALL, TX 75087

RESIDENT  
706 HARTMAN ST  
ROCKWALL, TX 75087

MOORE LAKISHA Q AND JASON  
708 HARTMAN ST  
ROCKWALL, TX 75087

501 SHERMAN, A SERIES OF STARK FAMILY  
PROPERTIES, LLC  
710 AGAPE CIR  
ROCKWALL, TX 75087

507-509 SHERMAN, A SERIES OF STARK FAMILY  
PROPERTIES, LLC  
C/O ROBERT STARK  
710 AGAPE CIR  
ROCKWALL, TX 75087

RENDON MARCELINO J JR  
710 HARTMAN ST  
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN  
712 HARTMAN ST  
ROCKWALL, TX 75087

HOOVER LINDA WEST-  
716 HARTMAN STREET  
ROCKWALL, TX 75087

SIMMONS JOHN V & JOAN M  
802 AGAPE CIR  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
880 IVY LANE  
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC  
904 CAMPTON CT  
ROCKWALL, TX 75032

TUTTLE LEON ETUX  
963 W Yellowjacket Ln Apt 122  
Rockwall, TX 75087

DEL BOSQUE RODOLFO  
PO BOX 2437  
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO  
PO BOX 2437  
ROCKWALL, TX 75087

AUBE JEAN-PAUL III  
PO BOX 868  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-015: Specific Use Permit (SUP) for Residential Infill and a Guest Quarters/ Secondary Living Unit

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

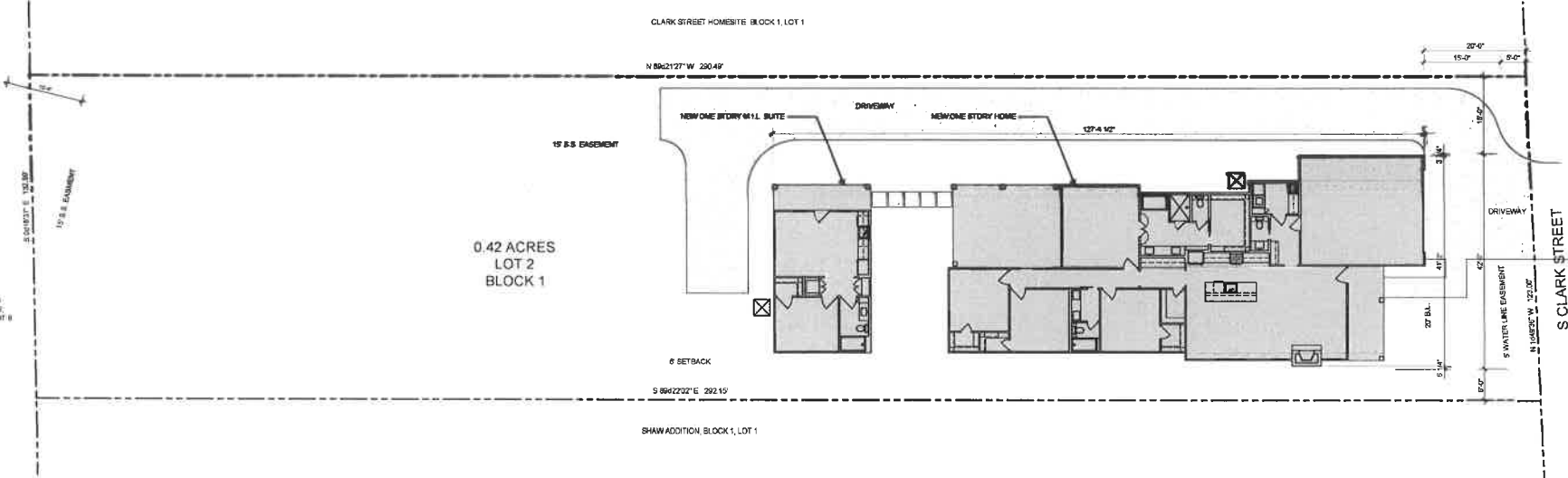
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



02 FRONT ELEVATION

SCALE 1/4"=1'-0"



01 ARCHITECTURAL SITE PLAN

SCALE 1"=10' 0"

A NEW RESIDENCE  
S. CLARK ST.  
JMS CUSTOM HOMES

**ISSUE LOG**

DATE	DESCRIPTION	ISSUE

**REVISION LOG**

DATE	DESCRIPTION	REV

ISSUED FOR:

PRELIMINARY

BIDDING / PERMIT

REVISION

FOR CONSTRUCTION

CONTRACTOR: JAMES BAUM  
 4040 W. 100th Street, Suite 100  
 Overland Park, MO 66204  
 913-241-4444

DESIGNER: PATRICK PHILLIPS  
 pat@jmscustomhomes.com  
 913-241-4444

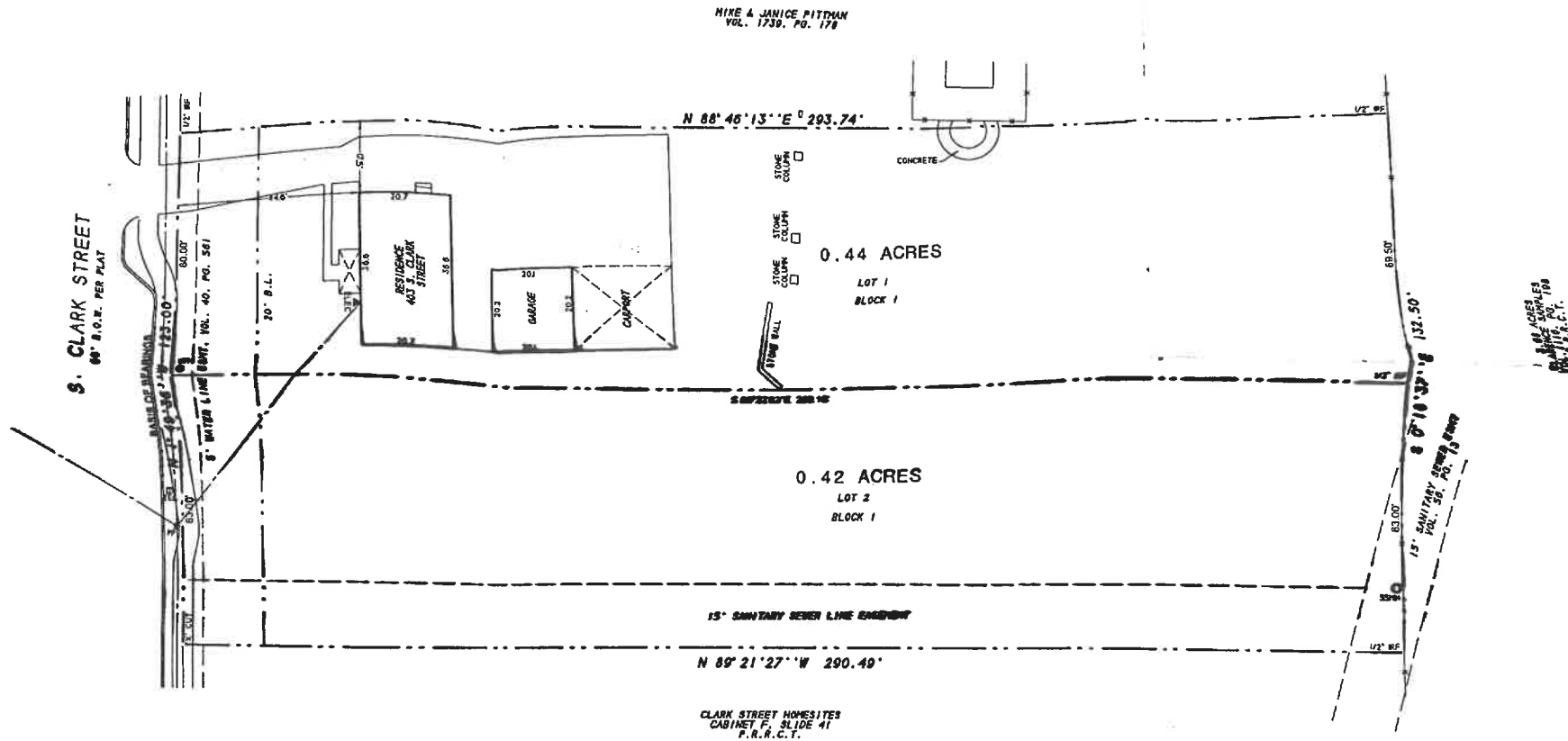
ARCH PROJ.# 2102

SCALE 1/4"=1'-0"

SHEET NO.

**A2.1**

ARCHITECTURAL SITE PLAN



**DESCRIPTION**

Lots 1 and Lot 2, Block 1, Shaw Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 169, Plat Records, Rockwall County, Texas.

**NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map Community Panel No. 48397C0040 L dated Sept. 26, 2006, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

**SURVEYOR'S CERTIFICATE**

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Ranger Title Company, Title Resources Guaranty Company, Homebank Texas, Justin and Brooke Livingston at 403 South Clark Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 20th day of July, 2020.

Harold D. Fetty III, R.P.L.S. No. 5034



**H.D. Fetty Land Surveyor, LLC**  
c/o Registration no. 10150900

SYMBOL LEGEND	
Symbol	Description
Symbol	Description
Symbol	Description
Symbol	Description
Symbol	Description
Symbol	Description
Symbol	Description
Symbol	Description

SURVEY DATE: JULY 20, 2020  
SCALE: 1" = 20' FILE # 1010/921/880  
CLIENT: LIVINGSTON CP # 12017048

DATE	_____
DATE	_____



A NEW RESIDENCE  
S. CLARK ST.  
JMS CUSTOM HOMES

ISSUE LOG

DATE	DESCRIPTION	BY

REVISION LOG

NO.	DESCRIPTION	BY

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION

CONTRACTOR: JAMES BOWEN  
WWW.BOWENCONSTRUCTION.COM  
DESIGNER: PATRICK HILLIS  
WWW.PHILLISDESIGN.COM

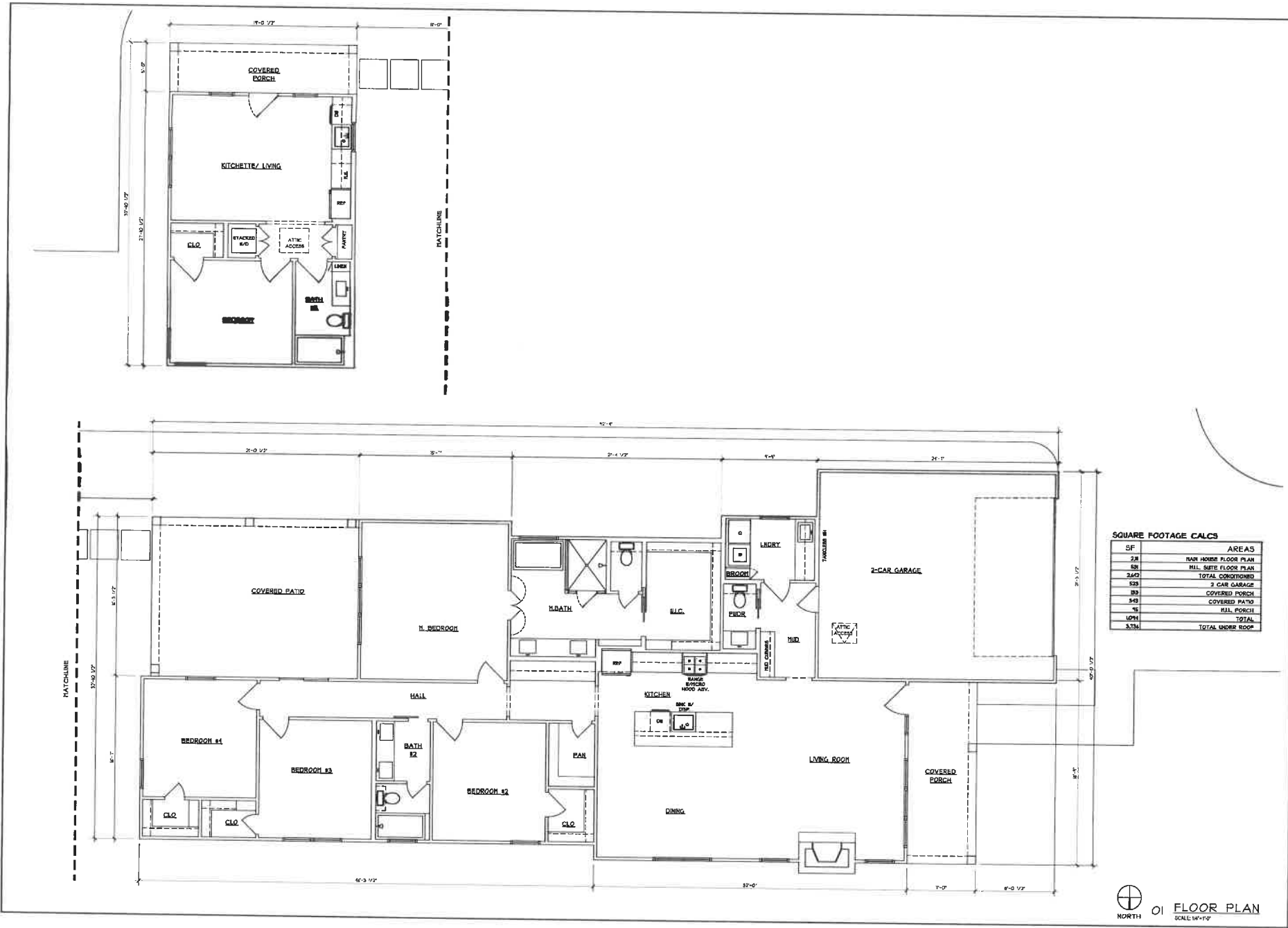
ARCH. PROJ. F. SCALE  
2100 REF. DRAWING

SHEET NO.  
**A3.2**  
FLOOR PLAN

SQUARE FOOTAGE CALCS

SF	AREAS
28	2ND LAYER FLOOR PLAN
528	1ST LAYER FLOOR PLAN
2642	TOTAL CONDITIONED
528	2 CAR GARAGE
35	COVERED PORCH
540	COVERED PATIO
16	1ST PORCH
1021	TOTAL
5338	TOTAL UNDER ROOF

 NORTH  
**01 FLOOR PLAN**  
SCALE 1/4"=1'-0"



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS/SECONDARY LIVING UNIT ON A 0.42-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, SHAW ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Javier Silva of JMS Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision and Guest Quarters/Secondary Living Unit* on a 0.42-acre parcel of land identified as Lot 2, Block 1, Shaw Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 403B S, Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *single-family home and guest quarters/secondary living unit* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum of 630 SF.
- 4) The *Guest Quarters/Secondary Living Unit* shall not incorporate full kitchen facilities.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- 6) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF MAY, 2025.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 21, 2025

2<sup>nd</sup> Reading: May 5, 2025

**Exhibit 'A':**  
*Location Map*

Address: 403B S. Clark Street

Legal Description: Lot 2, Block 1, Shaw Addition



Exhibit 'B':  
Residential Plot Plan

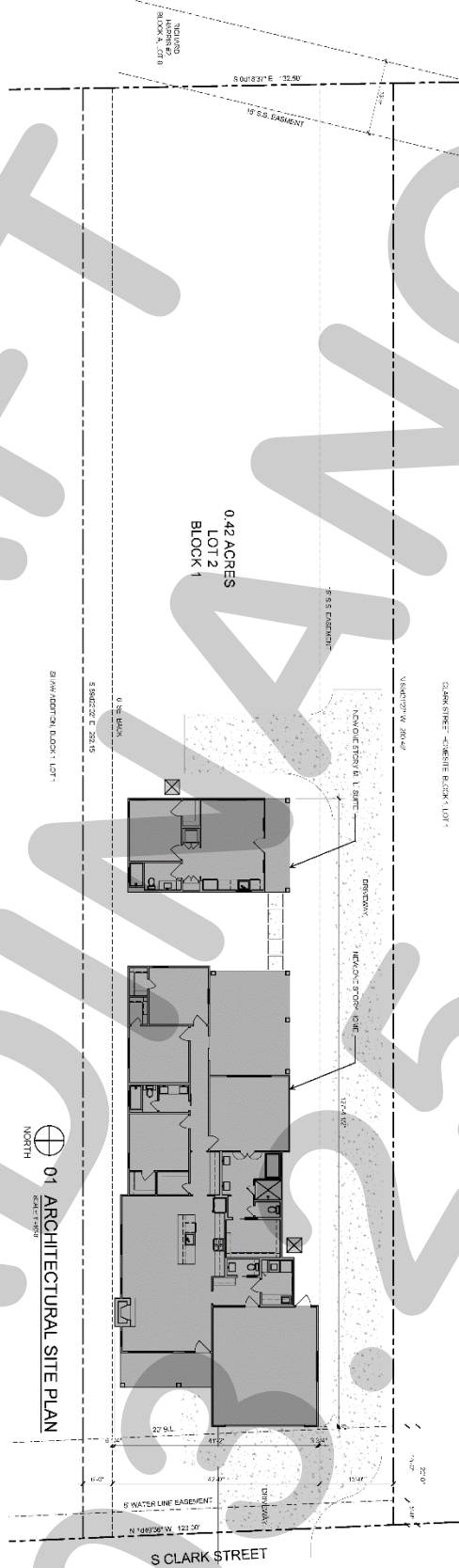


Exhibit 'C':  
Building Elevations

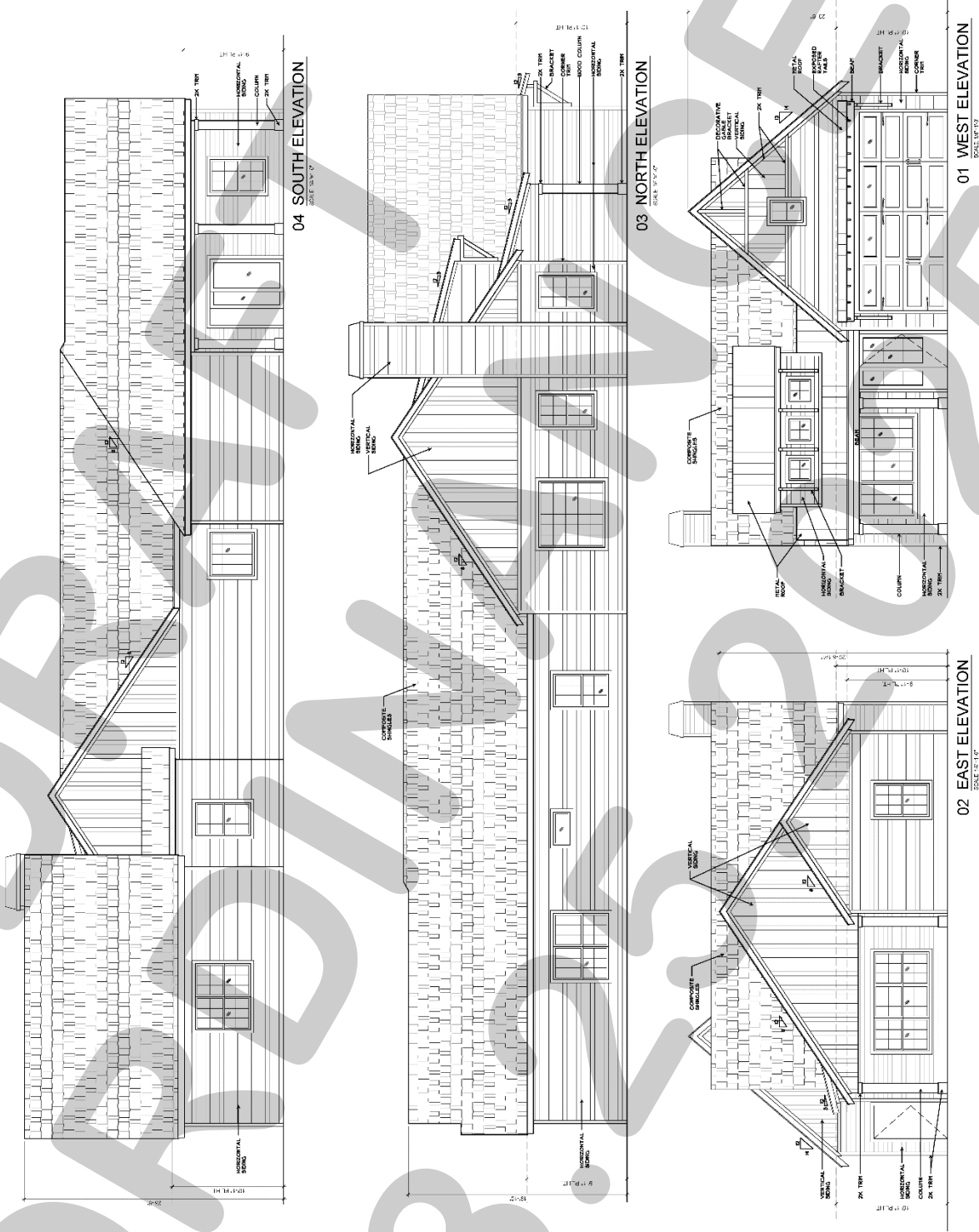
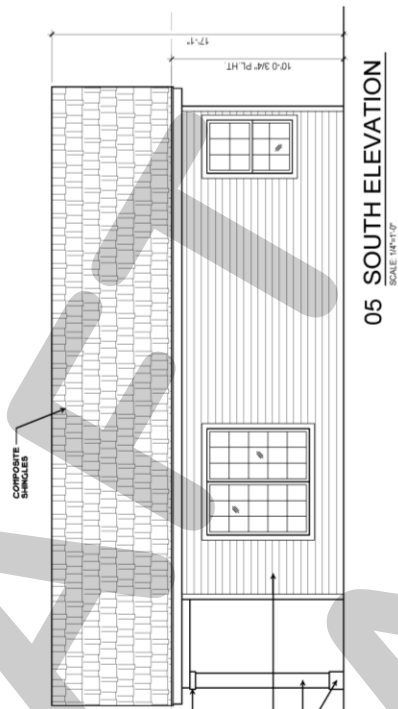
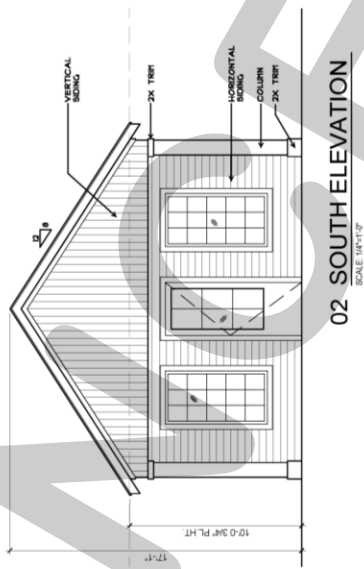


Exhibit 'C':  
Building Elevations

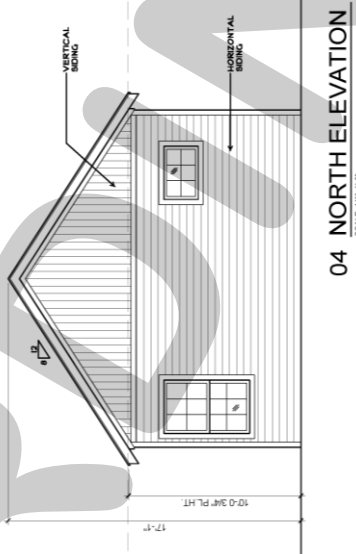


05 SOUTH ELEVATION  
SCALE 1/8"=1'-0"

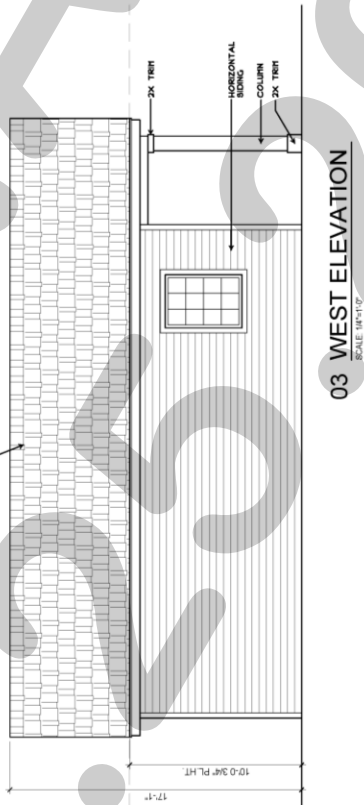


02 SOUTH ELEVATION  
SCALE 1/8"=1'-0"

M.I.L SUITE ELEVATIONS



04 NORTH ELEVATION  
SCALE 1/8"=1'-0"



03 WEST ELEVATION  
SCALE 1/8"=1'-0"



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/21/2025

PROJECT NUMBER: Z2025-016  
PROJECT NAME: SUP for Accessory Building  
SITE ADDRESS/LOCATIONS: 2201 SANDERSON LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	03/21/2025	Approved w/ Comments

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-016) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Planned Development District 88 (PD-88) and is subject to the Single-Family 1 (SF-1) District accessory structure requirements. According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings in a Single-Family 1 (SF-1) District shall meet the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 2
- (2) Maximum SF of Accessory Building: 144 SF
- (3) Minimum Rear Yard Setback: 50-Feet
- (4) Minimum Side Yard Setback: 25-Feet
- (5) Distance Between Buildings: 6-Feet
- (6) Maximum Building Height: 15-Feet

In addition, if there is an existing accessory building greater than 144-SF no additional accessory buildings or structures are permitted.

I.5 The proposed Accessory Building is 4,000 SF with a 1,300 SF canopy, for a total of 5,300 SF. In addition, the proposed Accessory Building is approximately 24.42-feet in height or roughly 19.21-feet at the midpoint of the roof. Based on this, the applicant is requesting a Specific Use Permit (SUP) for an Accessory Building that exceeds the maximum permissible size and height.

I.6 According to the Planned Development District 88 (PD-88) Standards, (1) all building façades shall incorporate 80% masonry material, and (2) the minimum roof pitch is 8:12. In this case, there are no proposed masonry materials, and the proposed building utilizes a 5:12 and 3:12 roof pitch. These items will be considered by the City Council and the Planned and Zoning Commission as part of this request.

I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- (1) The development of the Accessory Building shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
- (2) The Accessory Building shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
- (3) The Accessory Building shall not exceed a maximum size of 5,400 SF.
- (4) The Accessory Building shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (5) No additional Accessory Buildings may be constructed on the Subject Property.

M.8 Please review the attached Draft Ordinance prior to the March 25, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 1, 2025. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 1, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 15, 2025 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 25, 2025.

I.10 The projected City Council meeting dates for this case will be April 21, 2025 (1st Reading) and May 5, 2025 (2nd Reading).

M.11 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission or City Council may have regarding your request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

- 03/20/2025: 1. Show and label septic system  
 2. RCP culvert to be engineered for crossing of the drainage and detention easement and sized for the 100 year flow.  
 3. Finished pad must be a minimum of 2' above the 100 year water surface of the detention pond (100 yr water surface = 563.00)

General Items:

- Must meet City's 2023 Standards of Design and Construction
- Retaining walls 3' and over must be designed and signed/sealed by a registered engineer.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Driveway extension must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Needs Review

03/20/2025: \* Carports shall be a maximum of 500 square feet and be architecturally integrated and compatible to the primary structure

\* Roof pitch - A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which have a minimum of 4:12 roof pitch

\* Masonry Requirement. The minimum masonry requirement for the exterior façades of

all buildings shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank) and stucco (i.e. three [3] part stucco or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement.

\* Maximum height is 15 feet

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

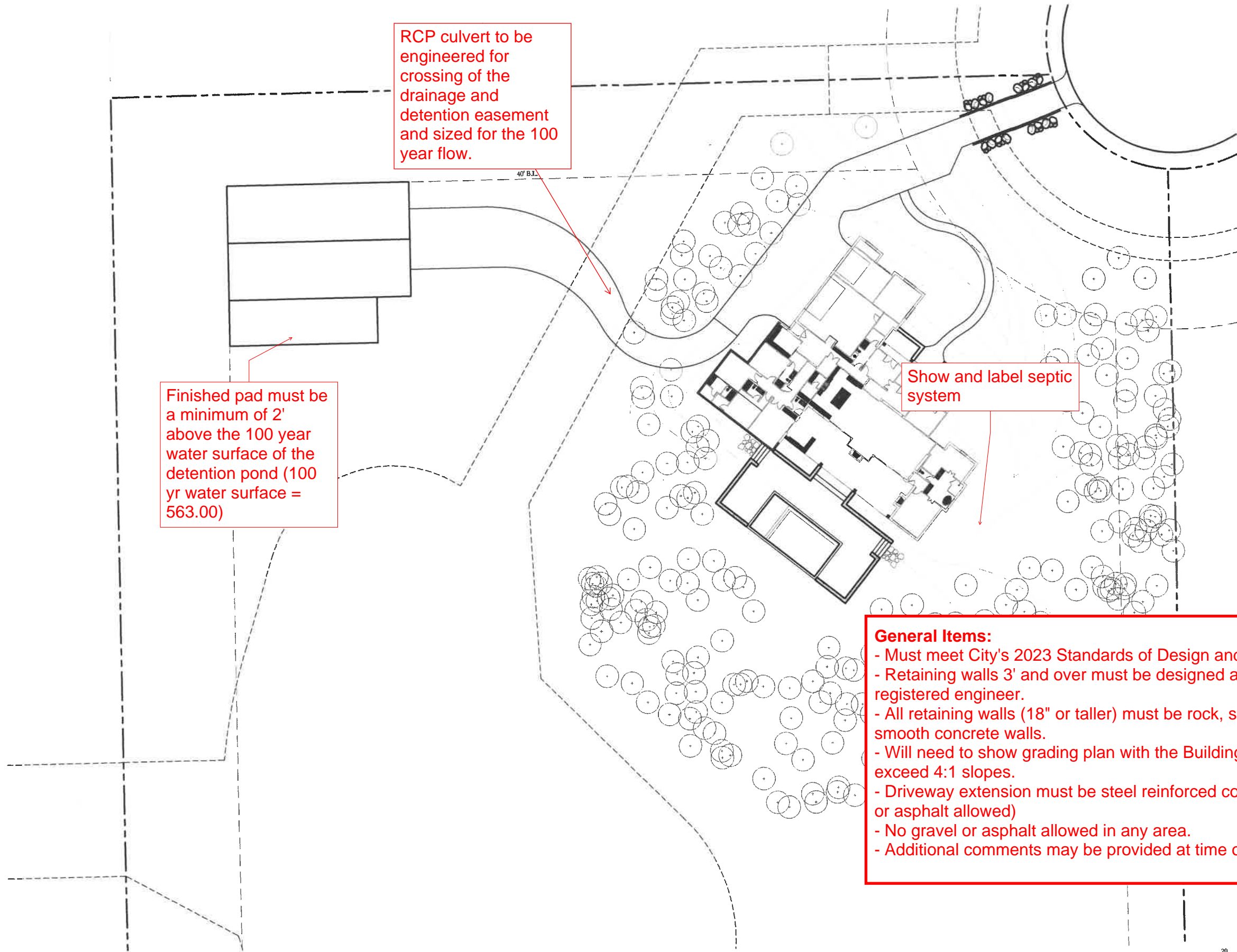
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

No Comments

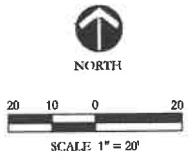


RCP culvert to be engineered for crossing of the drainage and detention easement and sized for the 100 year flow.

Finished pad must be a minimum of 2' above the 100 year water surface of the detention pond (100 yr water surface = 563.00)

Show and label septic system

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
  - Retaining walls 3' and over must be designed and signed/sealed by a registered engineer.
  - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
  - Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
  - Driveway extension must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
  - No gravel or asphalt allowed in any area.
  - Additional comments may be provided at time of Building Permit.



2201 Sanders Ln



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup> 5.22
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2201 Sanderson Ln, Rockwall, TX

SUBDIVISION North Gate

LOT 6 BLOCK B

GENERAL LOCATION intersection of Sanderson Ln and Boyett st.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD

CURRENT USE SF

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Michael Ryan Joyce

APPLICANT

CONTACT PERSON Ryan Joyce

CONTACT PERSON

ADDRESS 2201 Sanderson Ln  
Rockwall, TX

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 512-985-6280

PHONE

E-MAIL ryan@michaeljoyceproperties.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael R Joyce [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

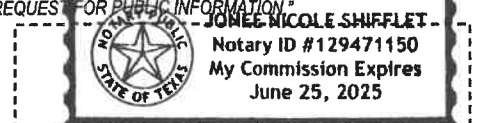
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 278.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF March, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF March, 2024

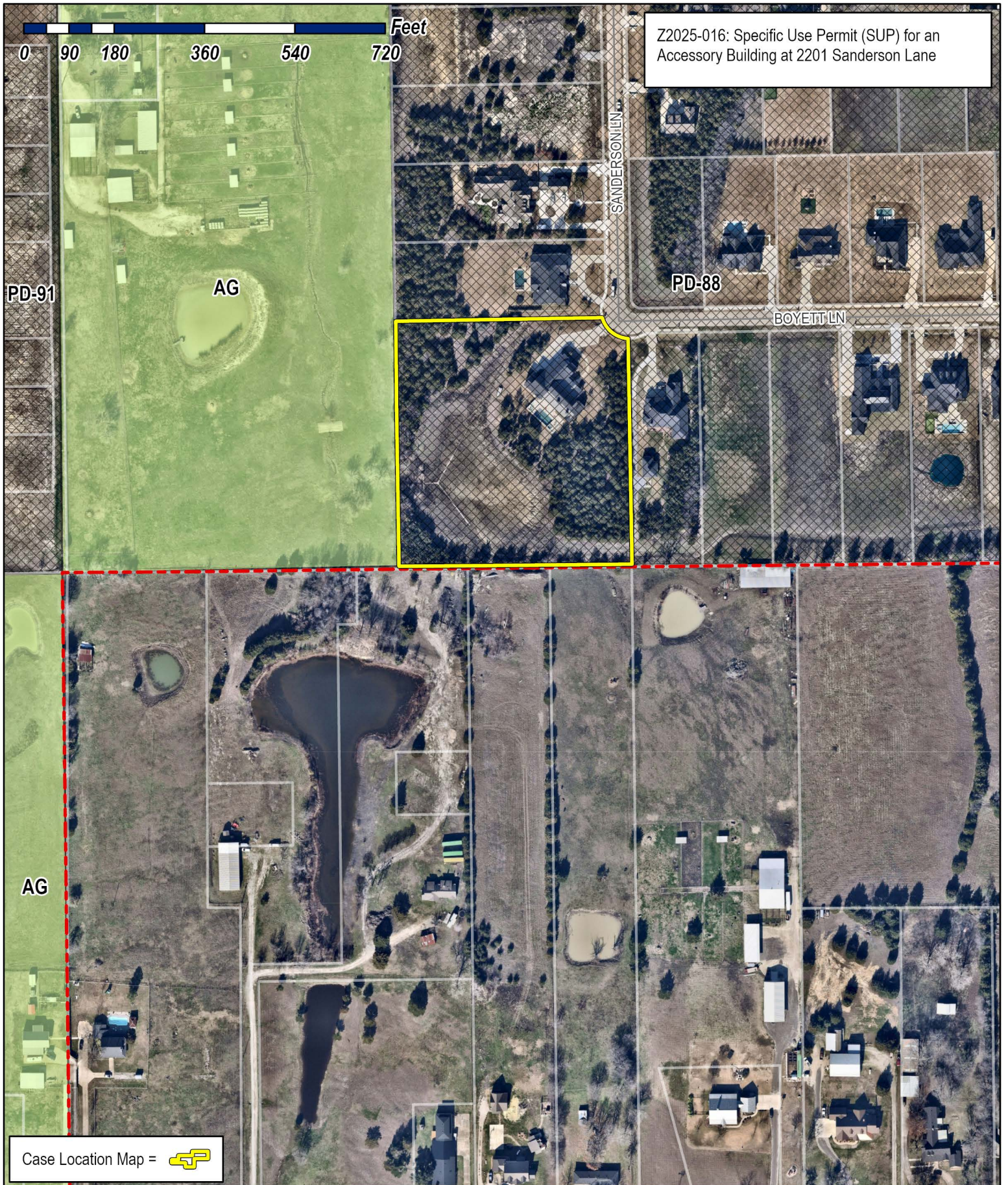
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Joni Nicole Shifflet



MY COMMISSION EXPIRES 6-25-25



Z2025-016: Specific Use Permit (SUP) for an Accessory Building at 2201 Sanderson Lane

0 90 180 360 540 720 Feet

PD-91


AG

PD-88

BOYETT LN

SANDERSON LN

AG

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

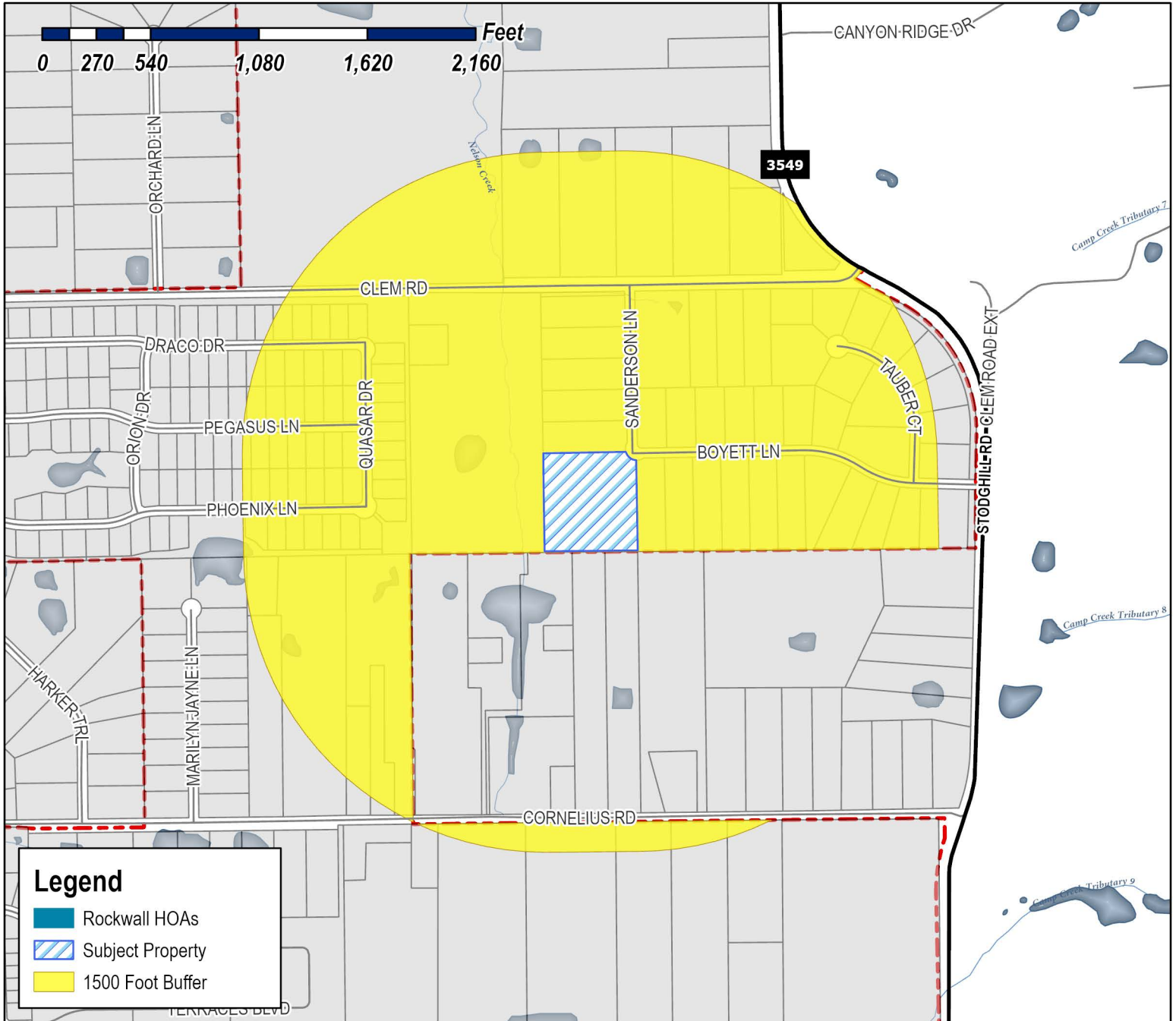




# City of Rockwall

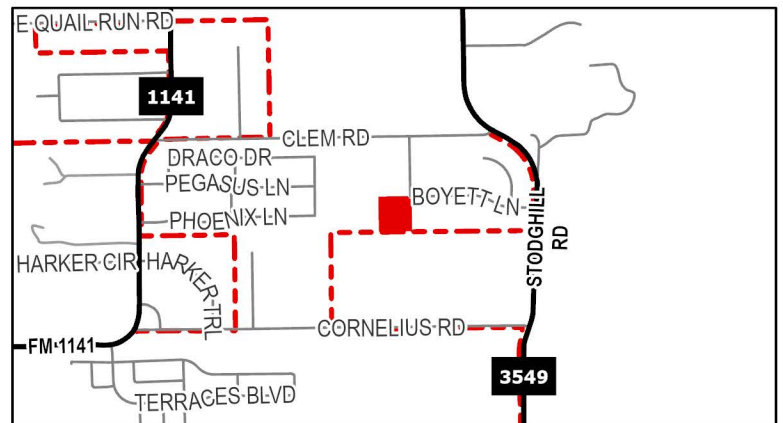
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-016  
**Case Name:** SUP for an Accessory Building  
**Case Type:** Zoning  
**Zoning:** Planned Development District 88 (PD-88)  
**Case Address:** 2201 Sanderson Lane

**Date Saved:** 3/14/2025  
 For Questions on this Case Call (972) 771-7745

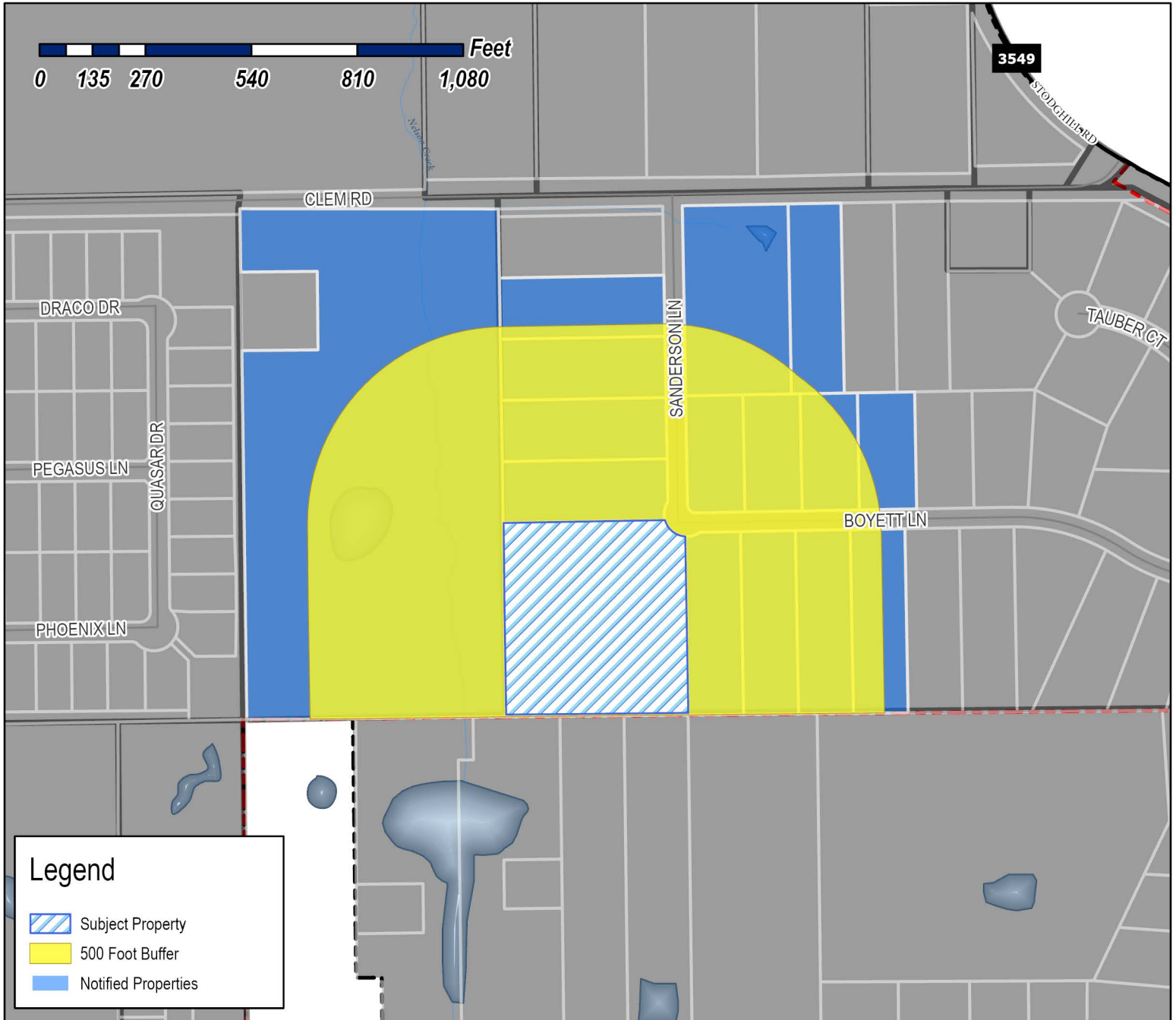




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

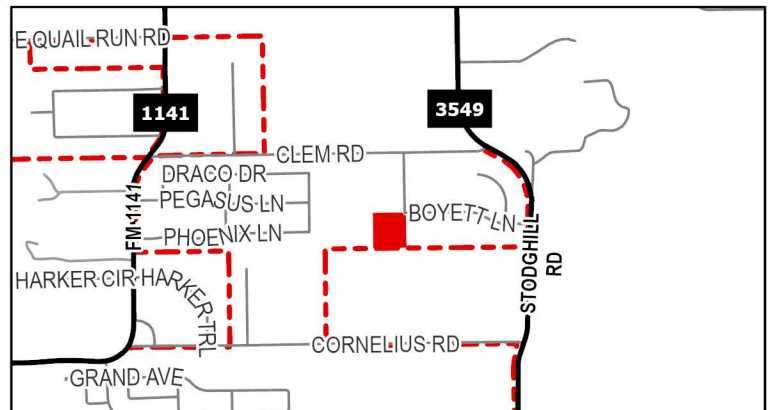
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**Case Number:** Z2025-016  
**Case Name:** SUP for an Accessory Building  
**Case Type:** Zoning  
**Zoning:** Planned Development District 88 (PD-88)  
**Case Address:** 2201 Sanderson Lane

**Date Saved:** 3/14/2025

For Questions on this Case Call: (972) 771-7745





MCCALLUM CRAIG WILLIAM  
1983 N STODGHILL RD  
ROCKWALL, TX 75087

JOYCE MICHAEL RYAN AND MEREDITH MCLEROY  
2201 SANDERSON LN  
ROCKWALL, TX 75087

SANDERSON PERRY AND AMY  
2207 SANDERSON LN  
ROCKWALL, TX 75087

RESIDENT  
2213 SANDERSON LN  
ROCKWALL, TX 75087

RESIDENT  
2219 SANDERSON LN  
ROCKWALL, TX 75087

RESIDENT  
2225 SANDERSON LN  
ROCKWALL, TX 75087

OWNBY MITCH AND SANDRA  
255 COUNTRY CLUB DR  
HEATH, TX 75032

WALRAVEN KEITH & MEREDITH  
402 FLORENCE DR  
FATE, TX 75087

RESIDENT  
611 CLEM RD  
ROCKWALL, TX 75087

RECHTIENE JOSEPH S AND LARISA A  
619 ELEANOR DRIVE  
FATE, TX 75087

MASON RICHARD L  
682 CANNON DRIVE  
ROCKWALL, TX 75087

BATES CHARLES  
7540 EDNA COURT #5509  
PLANO, TX 75024

COUCH DAVID AND JULIE  
803 BOYETT LN  
ROCKWALL, TX 75087

RESIDENT  
804 BOYETT LN  
ROCKWALL, TX 75087

RESIDENT  
807 BOYETT LN  
ROCKWALL, TX 75087

PAYNE ADAM J AND ELIZABETH A  
808 BOYETT LN  
ROCKWALL, TX 75087

RESIDENT  
813 BOYETT LN  
ROCKWALL, TX 75087

WOLFF RYAN & RACHEL  
814 BOYETT LN  
ROCKWALL, TX 75087

RESIDENT  
819 BOYETT LN  
ROCKWALL, TX 75087

MEREDITH WILLIAM AND AMBER  
820 BOYETT LN  
ROCKWALL, TX 75087

TUCKER JANA  
835 CLEM RD  
ROCKWALL, TX 75087

CONFIDENTIAL  
89 Stone Hinge Dr  
Fairview, TX 75069

STANLEY STEVEN B AND ROBIN C  
891 CLEM RD  
ROCKWALL, TX 75087

NAKAMURA DEREK & CAITLYN  
9620 COLQUITT RD  
TERRELL, TX 75160

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-016: Specific Use Permit (SUP) for an Accessory Building**

Hold a public hearing to discuss and consider a request by Ryan Joyce for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 2.71-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) [Ordinance No. 19-26] for Single-Family 1 (SF-1) District land uses, addressed as 2201 Sanderson Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 15, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 21, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 21, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-016: Specific Use Permit (SUP) for an Accessory Building**

Please place a check mark on the appropriate line below:

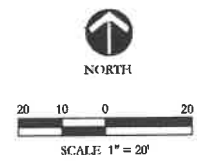
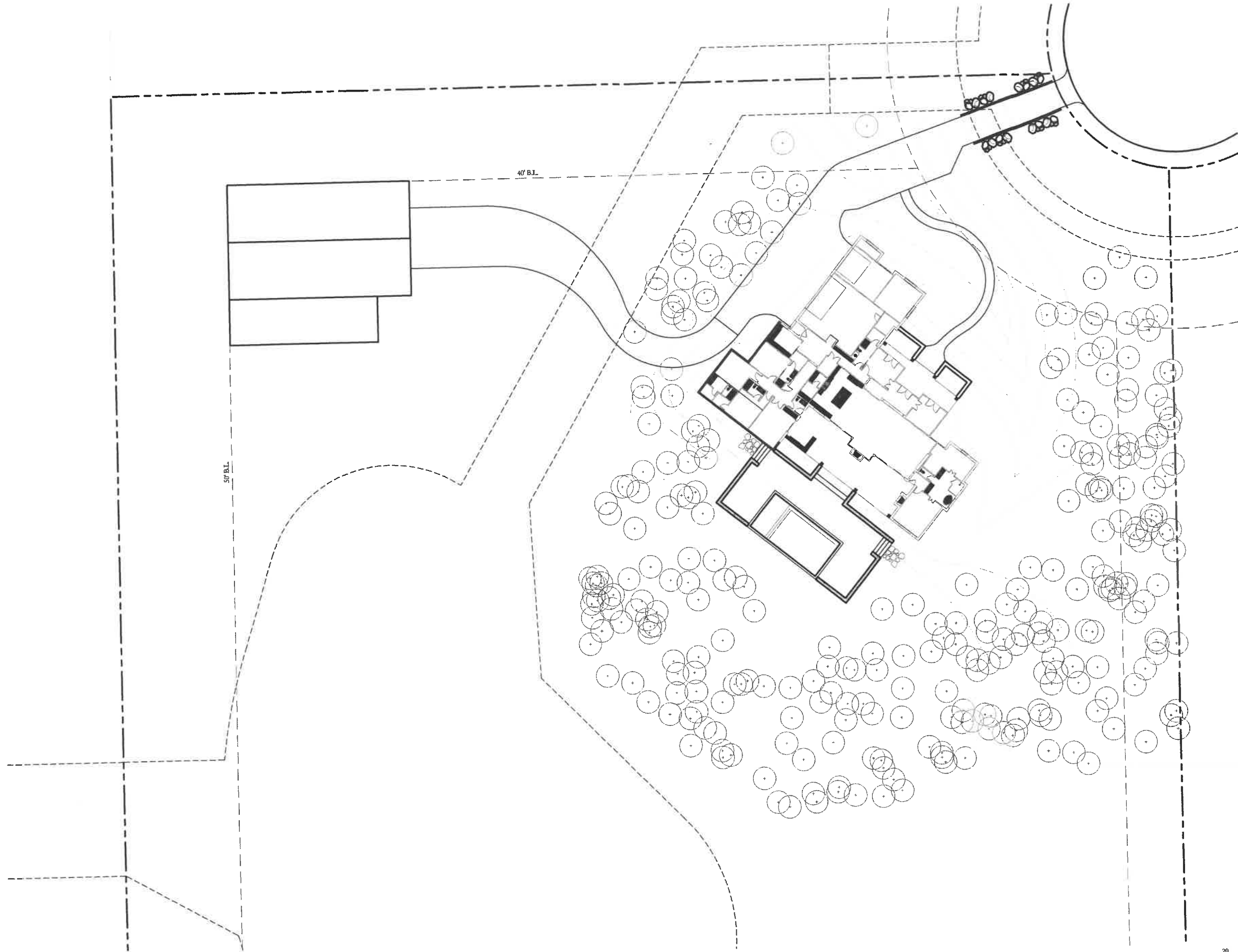
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2201 Sanders son Ln







# Edit building dimensions

← HIDE



RESET VIEW

Options

## Main Building

Width	Length	Height
50'	80'	14'

Roof Type:	Roof Pitch
Gable	5:12

## Leanto (Sidewall A)

Width	Height
20'	9'

Roof Pitch
3:12



Powered by  
 EASYBUILDING

NEXT

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 88 (PD-88) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY BUILDING ON A 5.222-ACRE PARCEL OF LAND IDENTIFIED AS LOT 6, BLOCK B, NORTHGATE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ryan Joyce for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 5.222-acre parcel of land identified as Lot 6, Block B, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88), addressed as 2201 Sanderson Lane, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 88 (PD-88) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Building* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 88 (PD-88); and Subsection 03.01, *General Residential Standards*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and with the following conditions:



## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Accessory Building* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
- (2) The *Accessory Building* shall generally conform to the Building Rendering as depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; and,
- (3) The *Accessory Building* shall not exceed a maximum size of 5,400 SF; and,
- (4) The *Accessory Building* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance; and,
- (5) No additional *Accessory Buildings* may be constructed on the *Subject Property*.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF MAY, 2025.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

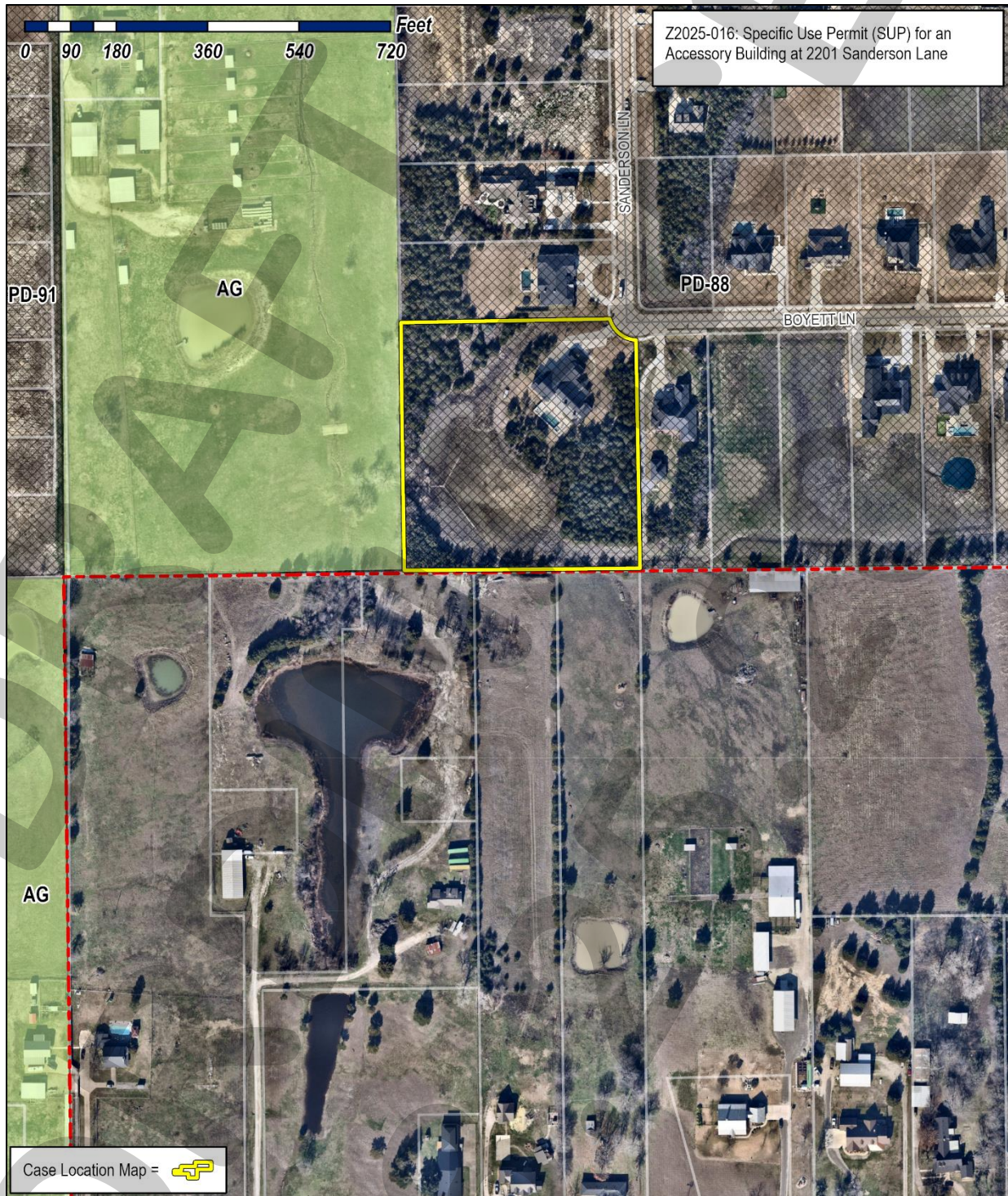
1<sup>st</sup> Reading: April 21, 2025

2<sup>nd</sup> Reading: May 5, 2025

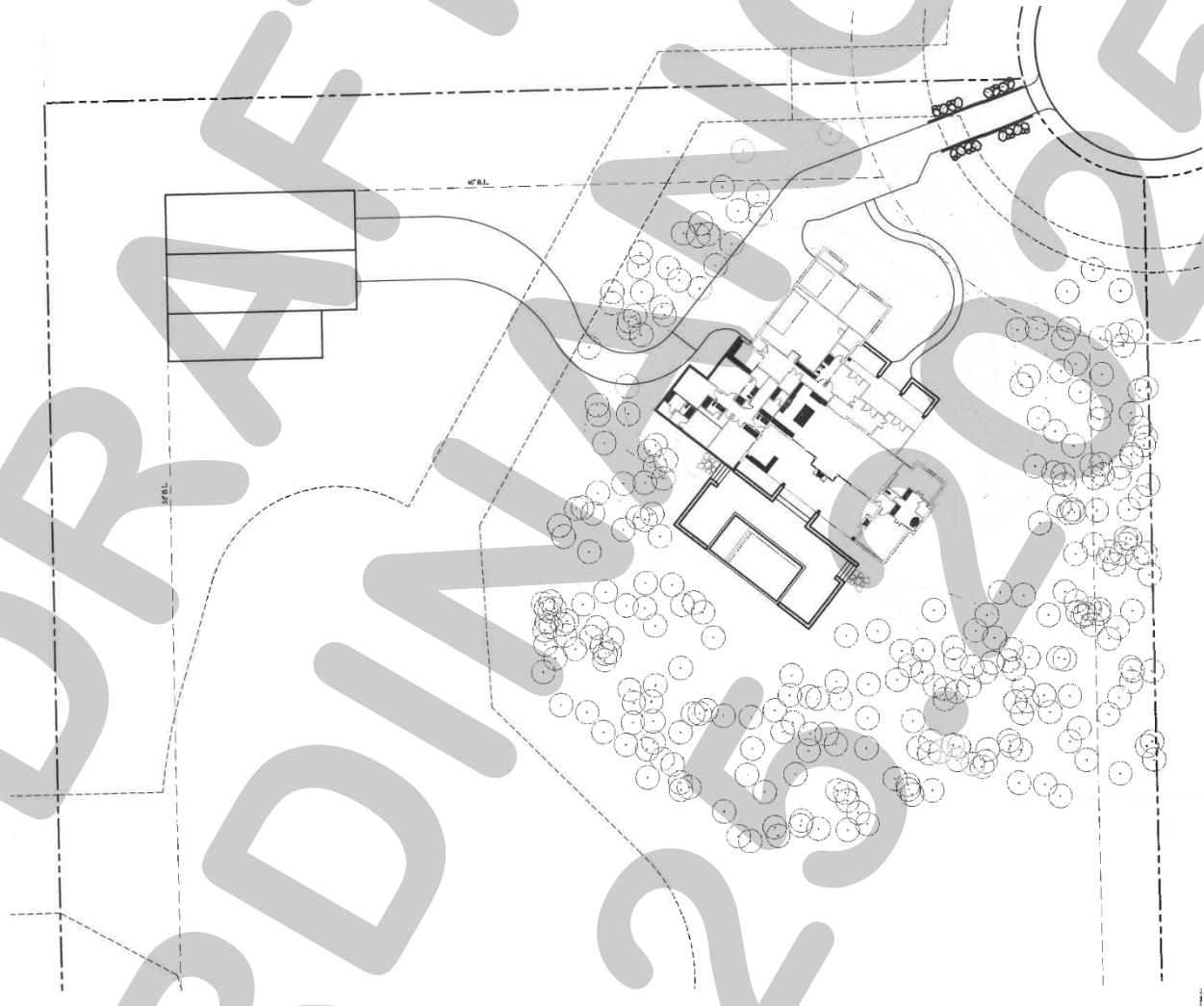
**Exhibit 'A'**  
**Legal Description**

Address: 2201 Sanderson Lane

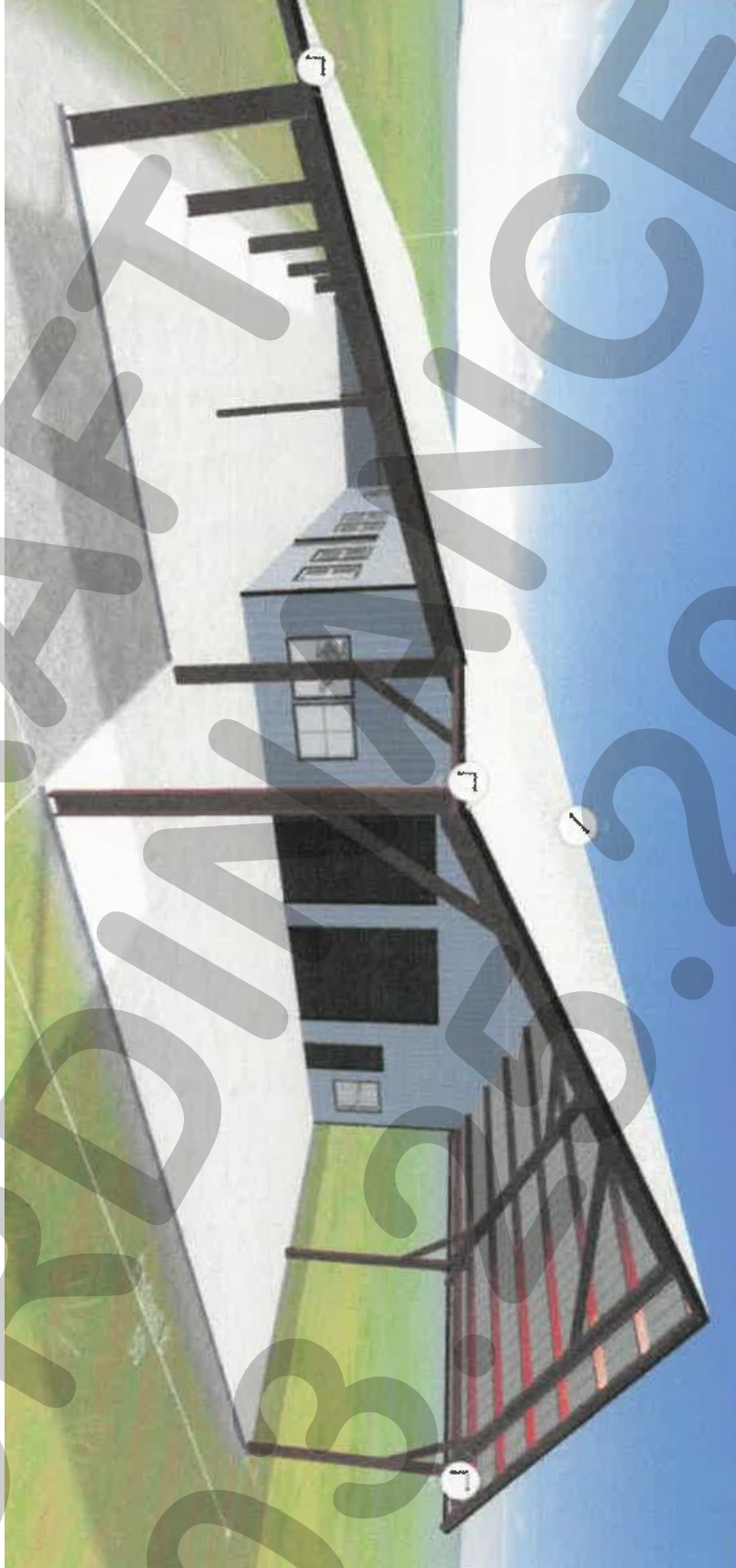
Legal Description: Lot 6, Block B, Northgate Addition



**Exhibit 'B'**  
*Site Plan*



**Exhibit 'C':**  
*Building Rendering*



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/21/2025

PROJECT NUMBER: SP2025-011  
PROJECT NAME: Site Plan for 2301 SH 276  
SITE ADDRESS/LOCATIONS: 2301 STATE HIGHWAY 276

CASE CAPTION: Discuss and consider a request by Drew Donosky of Claymoore Engineering for the approval of a Site Plan for the expansion of an existing Mini-Warehouse Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/21/2025	Needs Review

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the expansion of an existing Mini-Warehouse Facility on a 5.00-acre tract of land identified as Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) [Ordinance No. 25-12] for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2301 SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-011) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish easements and establish the property into Lot and Block.

M.5 A material sample board must be provided by the Architecture Review Board (ARB) meeting on March 25.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

M.7 Site Plan.

- (1) The front building setbacks are 15-feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) All parking spaces shall be 20'x9'. (Engineering Standards of Design and Construction)
- (3) The proposed expansion increases the required parking to 11 spaces. Eight (8) parking spaces for the 704 units and three (3) additional spaces. (Table 5, Article 06, UDC)
- (4) All signage is reviewed and approved through a separate permitting process. Signage may not be located within any easements. (Subsection 06.02.F, of Article 05, UDC)
- (5) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened. (Subsection 01.05.C, of Article 05, UDC)
- (6) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (7) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (8) To clarify, are the storage units contained within the building and there shall be no roll up doors? (Subsection 01.05. A, of Article 05, UDC)
- (9) Please clarify if there will be a dumpster. All dumpster enclosures must be 12-feet by 10-feet, and within the overlay district they must be 8-feet in height. If there will be an enclosure, please correct the site plan and provide a dumpster detail to reflect this. In addition, please denote that the brick on the enclosure will match the primary building. (Subsection 01.05.B, of Article 05, UDC)
- (10) No gutters, downspouts, or scuppers shall face a roadway. (Subsection 02.03, of Article 04, UDC)
- (11) Per the Conditional Land Use Standards, the "number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres." In this case, you are proposing 704 units. This request will be an Exception that the Planning and Zoning Commission must consider.

#### M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please delineate and label the landscape buffers along SH-276 and Springer Road. The SH-276 landscape buffer is 15-feet, and the Springer Road landscape buffer is 10-feet. (Subsection 05.01, of Article 08, UDC)
- (3) Please delineate the required berms within the landscape buffers along SH-276 and Springer Road. The berm along SH-276 is required to be a minimum of 30-inches in height. (Subsection 06.02, of Article 05, UDC)
- (4) Identify visibility triangles for all driveway intersections with public streets. (Subsection 01.08, of Article 05, UDC)
- (5) The landscape buffer along SH-276 requires four (4) canopy trees and eight (8) accent trees. (Subsection 06.02, of Article 05, UDC)
- (6) Detention ponds are required to have one (1) canopy tree per 750 SF of detention area, and one (1) accent tree per 1,500 SF of detention area. In this case, you are requesting approval of smartscape plan for the detention system. The Planning and Zoning Commission will review this as part of your site plan request. (Subsection 05.03.D, of Article 08, UDC)
- (7) Please include a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

#### M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

#### M.10 Building Elevations

- (1) Cementitious materials may not exceed more than 50% on a façade. In this case, the south façade utilized greater than 50% cementitious fiber board. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)
- (2) Natural or quarried stone must be utilized on at least 20% on each façade. In this case, the south façade incorporates less than 20% stone. This will be a Variance. (Subsection 06.02.C, of Article 05, UDC)
- (3) EIFS is not a permitted building material. Please utilized three (3) part stucco. (Subsection 06.02.C, of Article 05, UDC)
- (4) Please provide a note that the back side of the parapet must be finished in the same material as the external facing façade. In addition, all parapet systems must be enclosed. In this case, it appears that there is no parapet on the back of the building. (Subsection 06.02, of Article 05, UDC)
- (5) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (6) The proposed building does not meet the four (4) sided architecture requirements. This requires the same "materials, detailing, articulation and features" on each façade. In this case the primary articulation requirements must be met on each side, and the same architectural detail and features must be provided on each side. (Subsection 06.02, of Article 05, UDC)
- (7) The proposed building does not meet the primary articulation standards on each side of the building. Please review the articulation diagram within the General Commercial

District Standards within the Unified Development Code (UDC). (Subsection 06.02, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified the following Exception(s)/Variance(s) for this project:

- (1) Mini-Warehouse Unit Count. A maximum of 625 units may be permitted for a Mini-Warehouse Facility. (Subsection 01.05.C, of Article 05, UDC)
- (2) Cementitious Materials. Cementitious materials may not exceed 50% on a building façade. (Subsection 06.02, of Article 05, UDC)
- (3) Stone. Stone must be utilized on 20% of each building façade. (Subsection 06.02, of Article 05, UDC)
- (4) Articulation. The proposed building does not meet the primary articulation requirements outlined within the General Commercial District Standards. (Subsection 04.01, of Article 05, UDC)
- (5) Four (4) Sided Architecture. The proposed building does not provide the same "materials, detailing, articulation and features" on each façade. (Subsection 04.01, of Article 05, UDC)

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 1, 2025 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on March 25, 2025.
- (2) Planning & Zoning meeting/public hearing meeting will be held on April 15, 2025.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

- 03/20/2025:
1. Move sidewalk away from back of curb (2' from ROW)
  2. 20'x9'
  3. Private
  4. Need to get with the City of Rockwall's Internal Operations and Assistant City Manager regarding this
  5. FH or easement can't be in detention/drainage easement. FH requires min 20' water easement. Detention pond easement will be set at freeboard elevation.
  6. Water line to be centered in 20' water easement...so you may want to center the water line otherwise you'll need additional easements
  7. Must have 5' clearance around all fire hydrants...no fences, shrubs, tree, parking spaces, structures, bollards etc. All fire hydrants to be in a 20' wide water easement.
  8. Where is your proposed parking for this building?
  9. Dedicate a 10 utility easement along SH 276.
  10. All parking to be 20'x9'
  11. All parallel parking to be 22'x9'
  12. Verify that this ROW line is the new/proposed TXDOT for the SH 276 widening project
  13. 5' clear around fire hydrant
  14. No trees within 10' of water line along SH 276 and 5' from the 8" water line loop in the fire lane

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction



- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW. No structures or fences within easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Platting of property is required.
- Additional comments may be provided at time of Engineering.

#### Drainage Items:

- Detention is required if increasing impervious area. Detention is based on zoning, not specific land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Existing flow patterns must be maintained.
- No water or sewer lines can be in detention easement.
- Detention ponds must be irrigated.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 16" water main on the other side of Springer Road available for use.
- Minimum public sewer is 8".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 8" sewer main along Springer Road available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Sewer pro-rata of \$979.14/acre to be paid
- Sewer line pro-rata \$21/lf along Springer
- Must extend water and sewer to southern property line to serve the .92 acre tract

#### Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

- Street pro-rata \$11.74 lf along Springer
- 5' sidewalk to be installed across the property along Springer

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved w/ Comments

03/19/2025: Note: Fire Hydrant coverage is extended to 600 feet when the building is equipped with fire sprinklers.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

No Comments

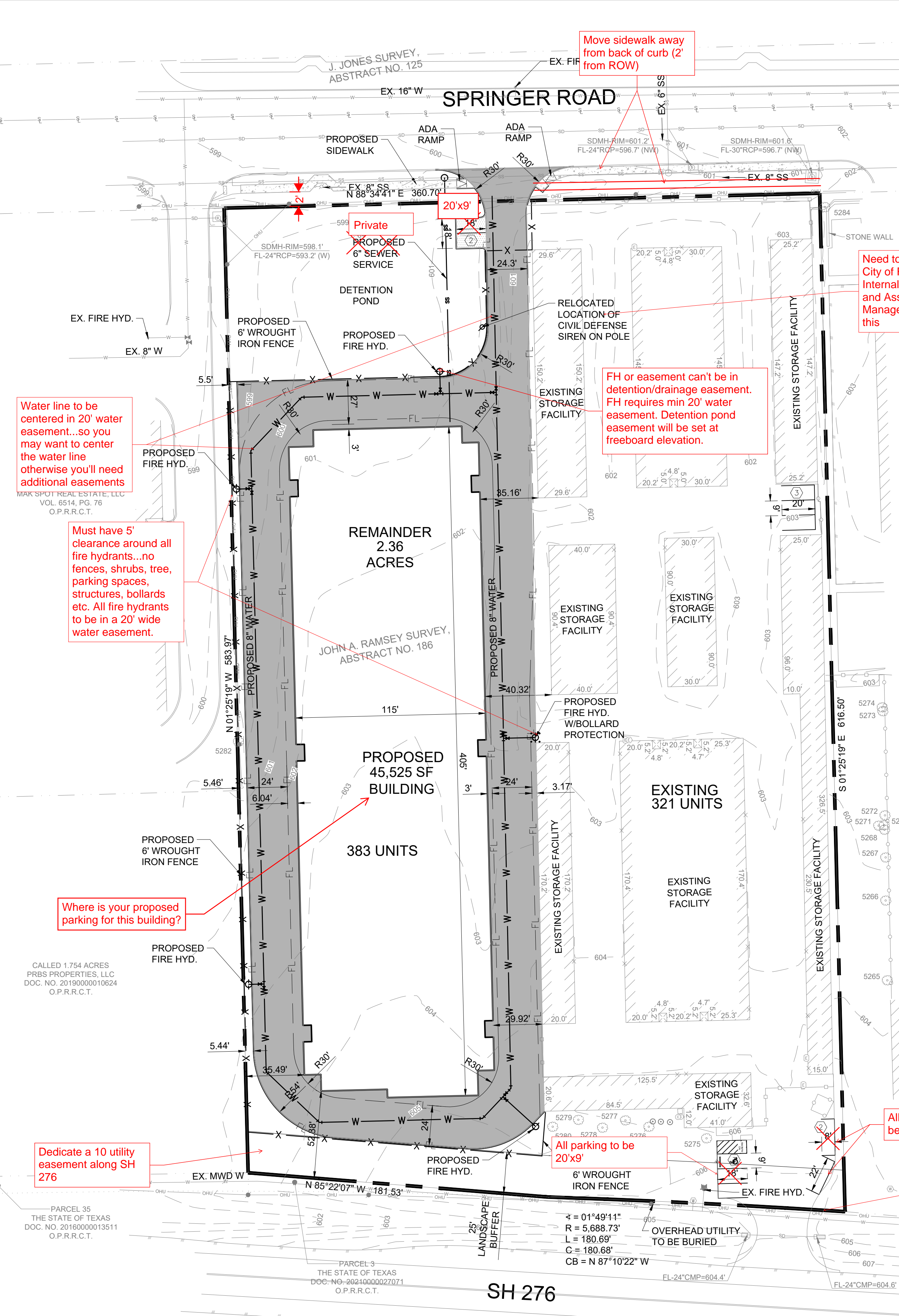
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved

03/17/2025: Tree mitigation approved  
Landscape plan approved

Z:\PROJECTS\PROJECTS\2024-119 MONTEFORT CAPITAL PARTNERS SELF STORAGE ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG

DAN CABALLERO

3/11/2025



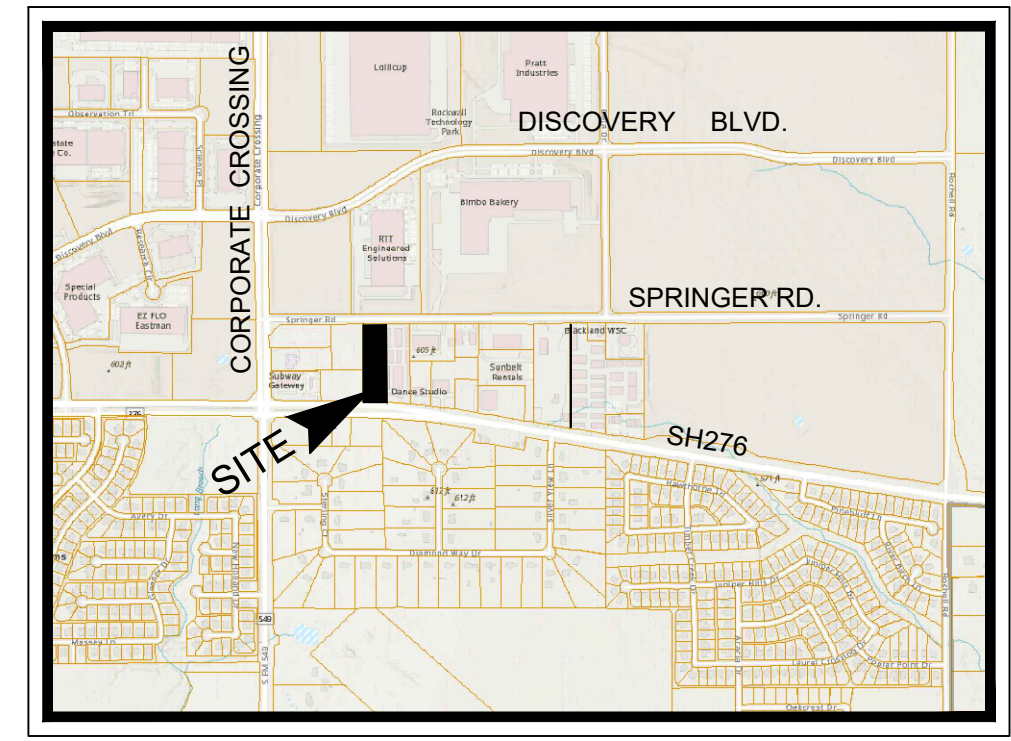
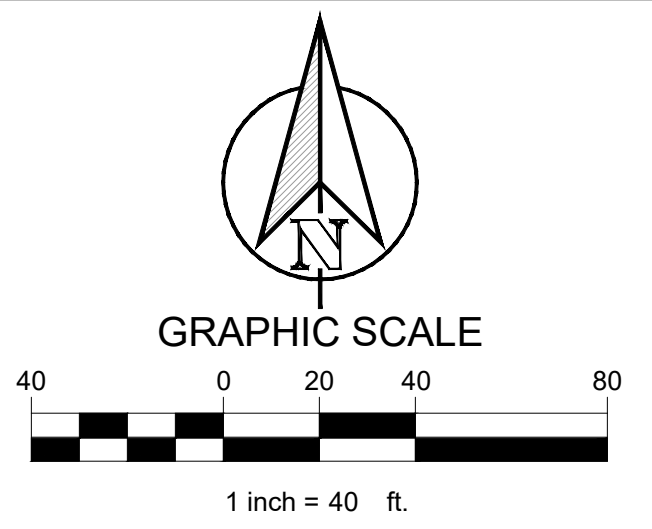
- General Items:**
- Must meet City's 2023 Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Wastewater & Roadway)
  - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
  - No signage is allowed within easements or ROW. No structures or fences within easements.
  - Tree mitigation will be required for the removal of any existing trees on site.
  - All utilities must be underground.
  - Platting of property is required.
  - Additional comments may be provided at time of Engineering.

- Drainage Items:**
- Detention is required if increasing impervious area. Detention is based on zoning, not specific land area use.
  - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
  - Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
  - Detention pond is required to have an emergency spillway.
  - Existing flow patterns must be maintained.
  - No water or sewer lines can be in detention easement.
  - Detention ponds must be irrigated.
  - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
  - No grate inlets allowed.
  - FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
  - All dumpster areas shall drain to an oil/water separator and then into the storm system.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
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VICINITY MAP N.T.S.

CONSTRUCTION SCHEDULE	
	PROPOSED 5' STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED 6' HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 4' SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

- NOTES:
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
  6. DUMPSTER ENCLOSURE TO BE 8' IN HEIGHT WITH SELF LATCHING GATE. MATERIALS TO MATCH BUILDING.

**SELF STORAGE ROCKWALL, TX**

LEGAL DESCRIPTION AND/OR ADDRESS:  
BEING 4.98 ACRES OF LAND OUT OF THE JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:  
PRISM LEASING LTD  
625 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

APPLICANT:  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
CONTACT: DREW DONOSKY  
PH: 817.281.0572

CASE NUMBER  
SP2025-

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

DESIGN: ASD  
DRAWN: DC  
CHECKED: ASD  
DATE: 3/11/2025

SHEET  
**SP-1**

DIRECTOR OF PLANNING AND ZONING

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

TEXAS REGISTRATION #141199

**CLAYMOORE ENGINEERING**

1903 CENTRAL DR. SUITE #406  
BEDFORD, TX 76021  
PHONE: 817.281.0572  
WWW.CLAYMOOREENGINEERING.COM

STATE OF TEXAS

DREW DONOSKY  
125651  
PROFESSIONAL ENGINEER

3/11/2025

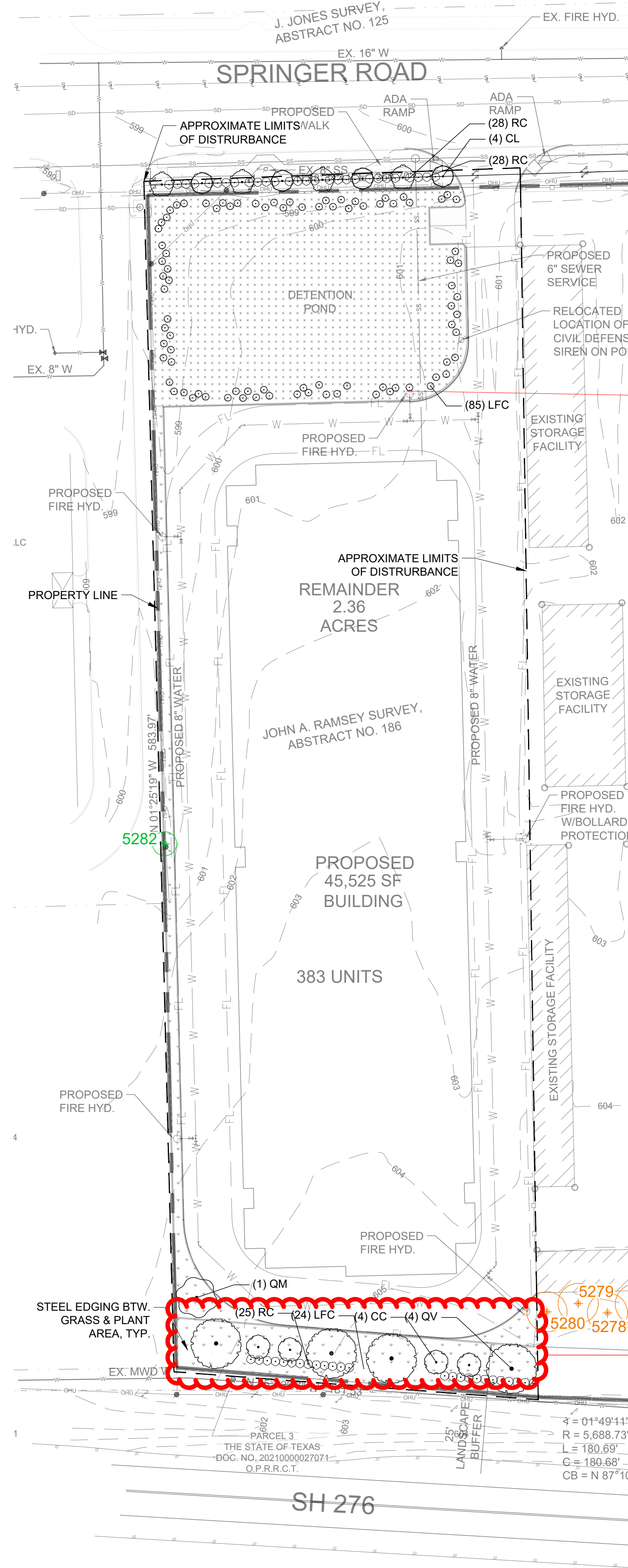
**ROCKWALL STORAGE EXPANSION**  
2301 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

**CITY SITE PLAN**

File No. 2024-119  
CASE # SP2025-

P:\SHARED\PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-LP.DWG  
COMPUTER  
3/12/2025



**LANDSCAPE STANDARDS**

- 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**  
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:  
SH 276 - ±181' OF STREET FRONTAGE:  
SPRINGER ROAD - ±186' OF STREET FRONTAGE:  
\* ACCENT TREES USED DUE TO OVERHEAD POWER LINES.
- 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**  
NEW CONSTRUCTION SITE AREA: 108,527 SF  
LANDSCAPE AREA REQUIRED SITE: 21,705.4 SF (20%)  
LANDSCAPE PROVIDED: 29,310 SF (27%)
- LOCATION OF LANDSCAPING:**  
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS**  
WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASIN SITE AREA:**  
DETENTION BASINS PLANTING REQUIRED: 16,013 SF  
DETENTION BASING PLANTING PROVIDED: 16,013 / 750 = 21.35; 21.35 x 4 = 85 SHRUBS & NATIVE GRASS  
XERISCAPE OPTION
- ARTICLE 09: TREE PRESERVATION**  
05: TREE MITIGATION REQUIREMENTS  
MITIGATION REQUIRED: YES  
MITIGATION PROVIDED: 1 - 4" CALIPER TREE
- 06.01: REPLACEMENT TREES**  
ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER 1 REQUIRED

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>LARGE TREES</b>					
	QM	Quercus muehlenbergii / Chinkapin Oak	4" Cal.	Cont. or B&B	1
	QV	Quercus virginiana / Southern Live Oak	4" Cal.	Cont. or B&B	4
<b>SMALL TREES</b>					
	CC	Cercis canadensis texensis / Texas Redbud	4" Ht.	Cont. or B&B	4
	CL	Chilopsis linearis / Desert Willow	4" Ht.	Cont. or B&B	4
	RC2	Rhus copallinum 'Flameleaf' / Flameleaf Sumac	4" Ht.	Cont. or B&B	4
<b>SHRUBS</b>					
	LFC	Leucophyllum frutescens 'Compacta' / Compact Texas Sage	5 gal.	Cont.	85
	RC	Rhaphiolepis indica 'Pinkie' / Indian Hawthorn	5 gal.	Cont.	53
<b>SOD/SEED</b>					
	SM	Blackland Prairie Seed Mix / Native American Seed (Seedsources.com)			16,013 sf
	TRF	Cynodon dactylon x transvaalensis 'DT-1' / Tiftuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces			6,992 sf

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - IF ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOB SITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

**ROOT BARRIERS**

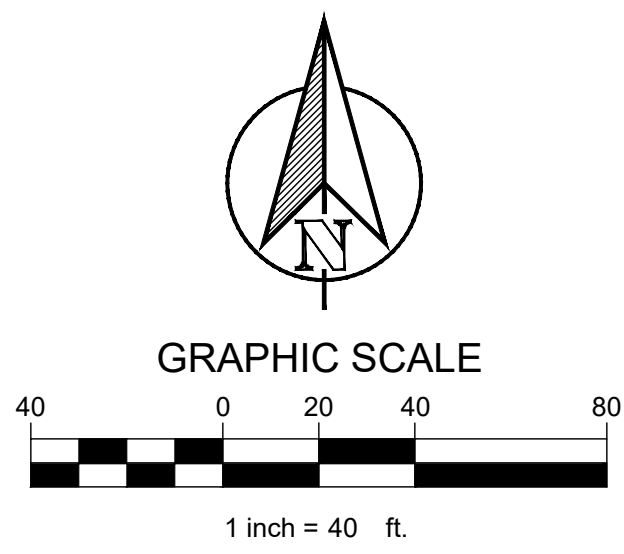
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANTING & IRRIGATION GUARANTEE**

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



**LANDSCAPE PLANTING PLAN**

National Presence. Local Expertise.

EVERGREEN DESIGN GROUP  
800.860.6630  
www.evergreendesigngroup.com  
LANDSCAPE ARCHITECTURE  
LAND PLANNING, IRRIGATION DESIGN

TEXAS REGISTRATION #14199

CLAY MOORE ENGINEERING  
100 CENTRAL DR. SUITE #400  
ROCKWALL, TX 75087  
WWW.CLAYMOORE.COM

REGISTERED LANDSCAPE ARCHITECT  
STEPHEN W. SALES  
STATE OF TEXAS  
3470  
03/12/2025

**ROCKWALL STORAGE EXPANSION**  
2398 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

DESIGN: JML  
DRAWN: JML  
CHECKED: SS  
DATE: 3-12-25

SHEET  
**LP-1**

File No. 2024-119



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Gollad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup> & <sup>2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION (PLEASE PRINT)**

ADDRESS	2301 TX-276 Rockwall, TX 75032		
SUBDIVISION	A0186	LOT	BLOCK
GENERAL LOCATION			

**ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)**

CURRENT ZONING	PD-46	CURRENT USE	Storage Facility	
PROPOSED ZONING	PD-46	PROPOSED USE	Storage Facility	
ACREAGE	4.98	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)**

<input type="checkbox"/> OWNER	Prism Leasing LTD	<input checked="" type="checkbox"/> APPLICANT	Claymoore Engineering
CONTACT PERSON		CONTACT PERSON	Drew Donosky
ADDRESS	625 Sunset Hill Dr	ADDRESS	1903 Central Dr # 406
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Bedford, TX 76021
PHONE		PHONE	817-281-0572
E-MAIL		E-MAIL	drew@claymooreeng.com

**NOTARY VERIFICATION (REQUIRED)**

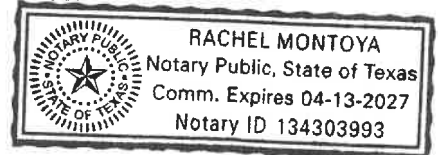
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROLAND COBB [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

<sup>1</sup> I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.<sup>2</sup>

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF March, 2025  
OWNER'S SIGNATURE Roland Cobb

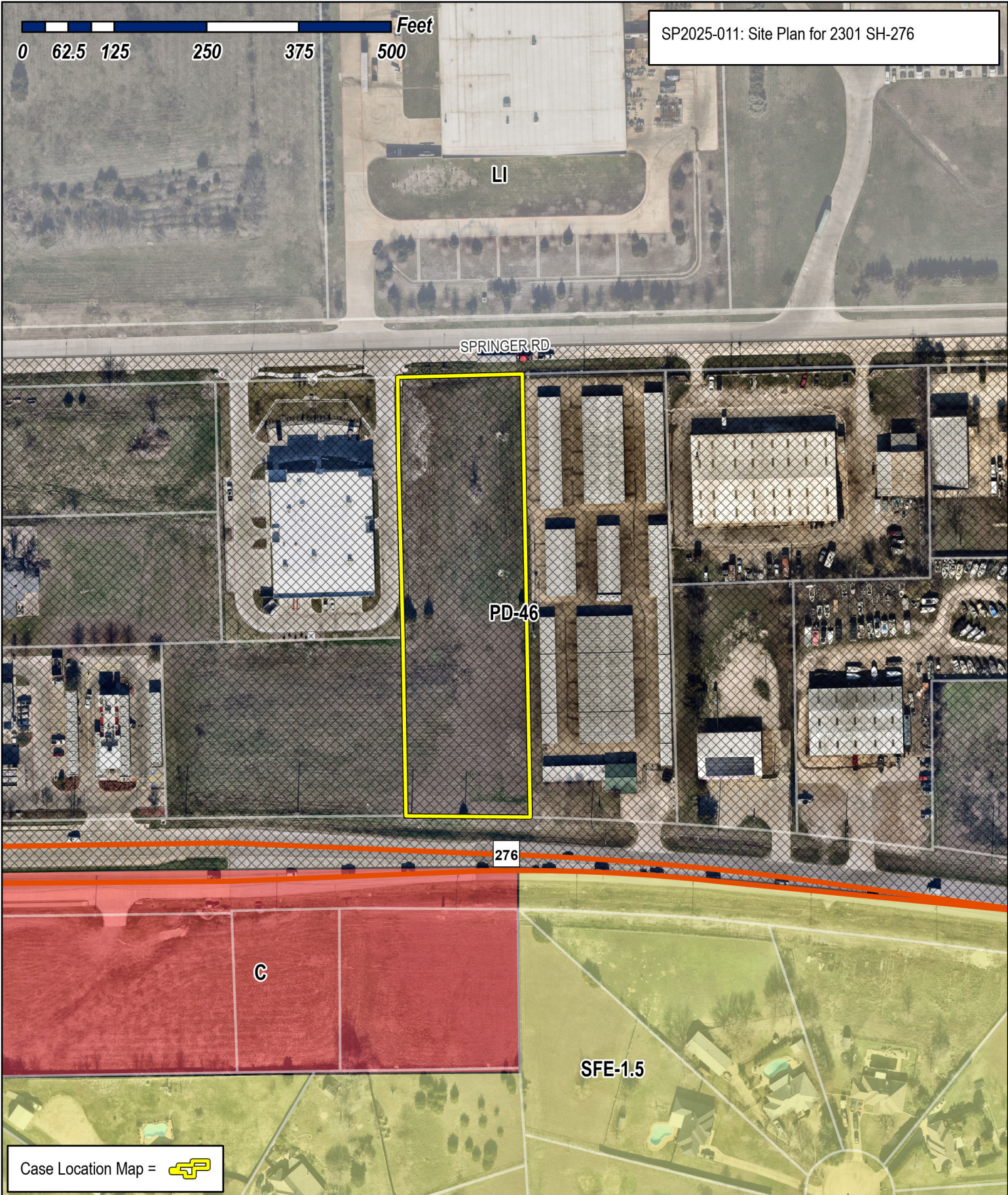
Rachel Montoya  
MY COMMISSION EXPIRES 4-13-27


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_



0 62.5 125 250 375 500 Feet

SP2025-011: Site Plan for 2301 SH-276



Case Location Map = 



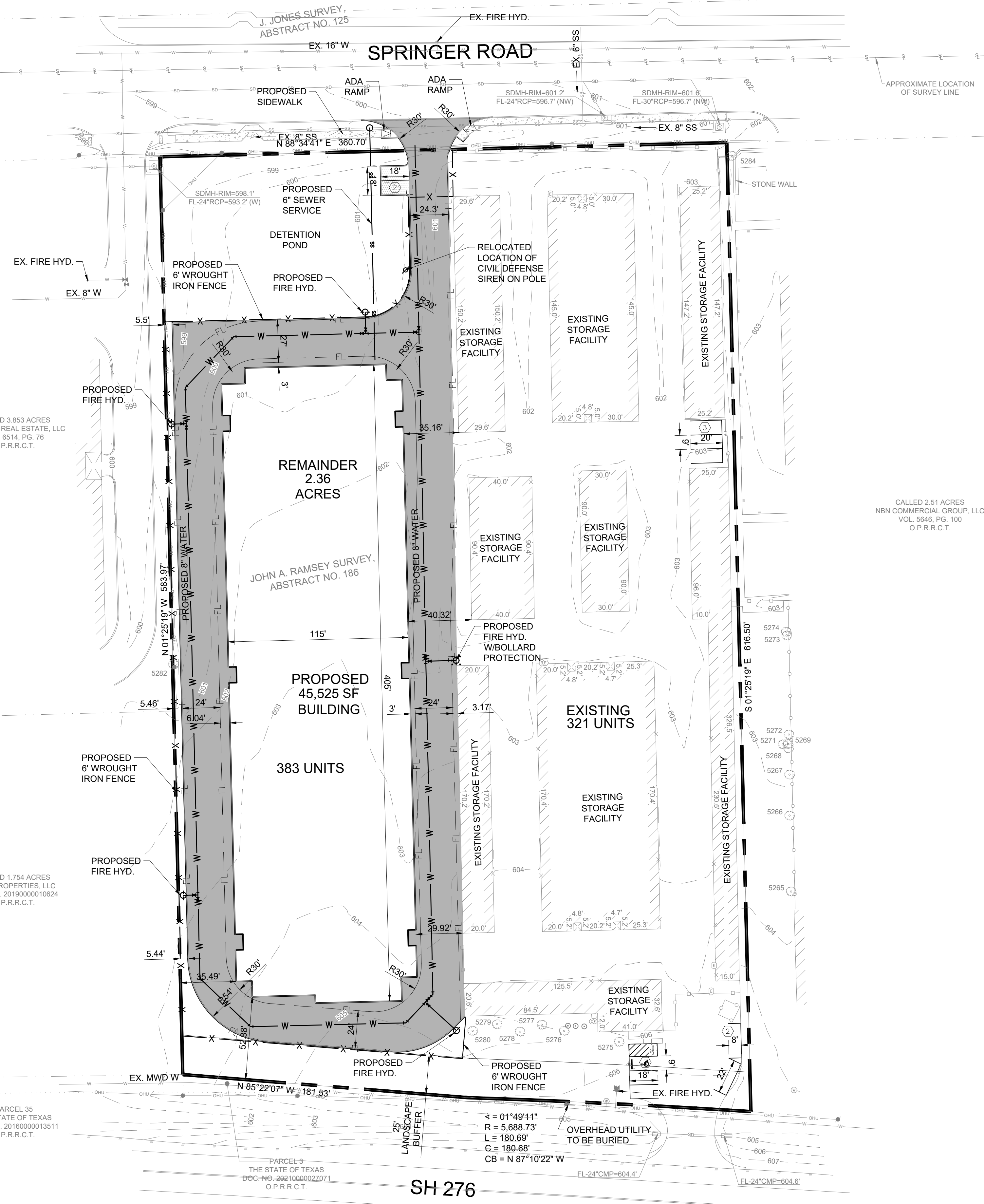
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



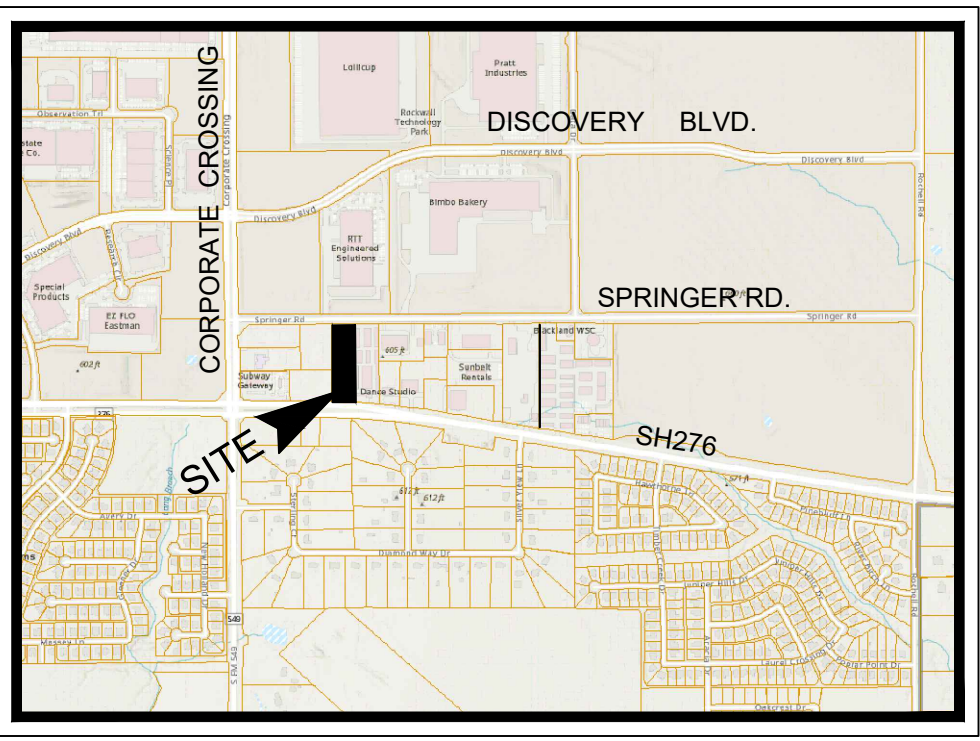
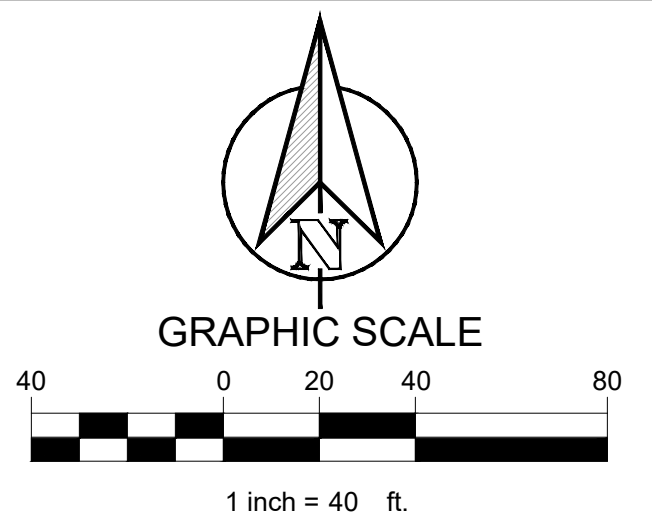
Z:\PROJECTS\PROJECTS\2024-119 MONTEFORT CAPITAL PARTNERS SELF STORAGE ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG  
DAN CABALLERO  
3/11/2025



SITE DATA TABLE	
	TOTAL
SITE AREA	4.98 AC (216,935 SF)
ZONING	PD-46 / SH 276 OVERLAY
PROPOSED USE	SELF STORAGE
BUILDING SIZE	45,525 SF
LOT COVERAGE	20.98 %
FLOOR TO AREA RATIO	0.21 : 1
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	183,520 SF (84.6%)
OPEN SPACE	0.767 AC (15.4 %)

PARKING DATA TABLE	
PARKING REQ.	
MINI-WAREHOUSE 3 SPS. + 1 PER 100 UNITS	10 SPACES
EXISTING 321 UNITS	6 SPACES
PROPOSED 383 UNITS	4 SPACES
PARKING PROVIDED	
STANDARD PARKING	9 SPACES
ADA PARKING	1 SPACES
<b>TOTAL</b>	<b>10 SPACES (1 ADA)</b>



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CONSTRUCTION SCHEDULE	
	PROPOSED 5' STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED 6' HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 4' SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

- NOTES:
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
  6. DUMPSTER ENCLOSURE TO BE 8' IN HEIGHT WITH SELF LATCHING GATE. MATERIALS TO MATCH BUILDING.

SELF STORAGE ROCKWALL, TX	
LEGAL DESCRIPTION AND/OR ADDRESS: BEING 4.98 ACRES OF LAND OUT OF THE JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	
OWNER: PRISM LEASING LTD 625 SUNSET HILL DRIVE ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572	
CASE NUMBER SP2025-	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
DIRECTOR OF PLANNING AND ZONING _____	



**ROCKWALL STORAGE EXPANSION**  
2301 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

CITY SITE PLAN

DESIGN:	ASD
DRAWN:	DC
CHECKED:	ASD
DATE:	3/11/2025

SHEET  
**SP-1**  
File No. 2024-119  
CASE # SP2025-

## SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	DESCRIPTION	REVISIONS	
		DATE	

## Rockwall Storage Expansion

An Expansion for The Storage Locker

2301 Hwy 276, Rockwall, Texas

PROJECT NUMBER  
**2506**  
DATE  
**03.12.25**  
SHEET NUMBER  
**A1.0**

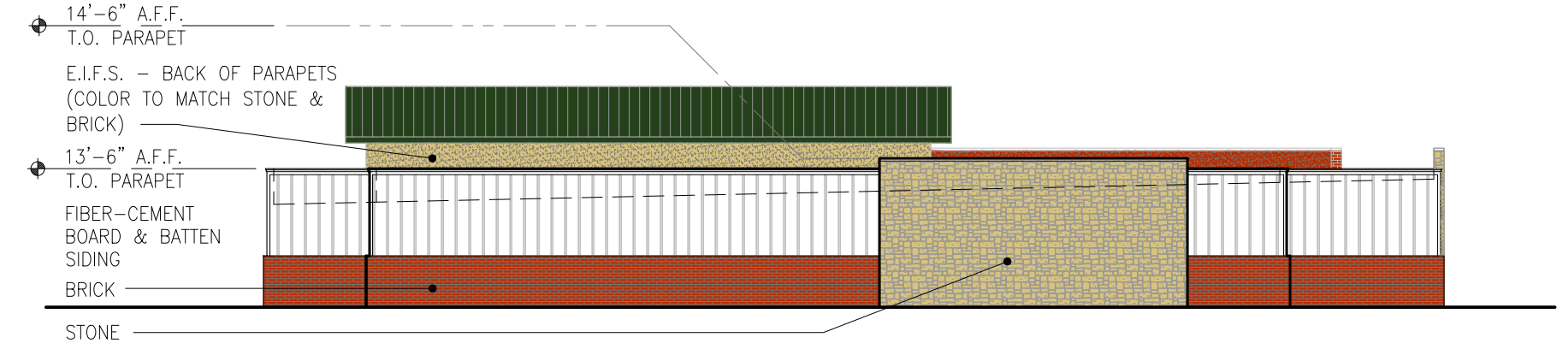
exterior elevations



**EXTERIOR WALL FINISH MATERIALS**

BRICK	1,657 SF	23%
SIDING	2,792 SF	49%
STONE	1,283 SF	22%
TOTAL	5,732 SF	100%

**4 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



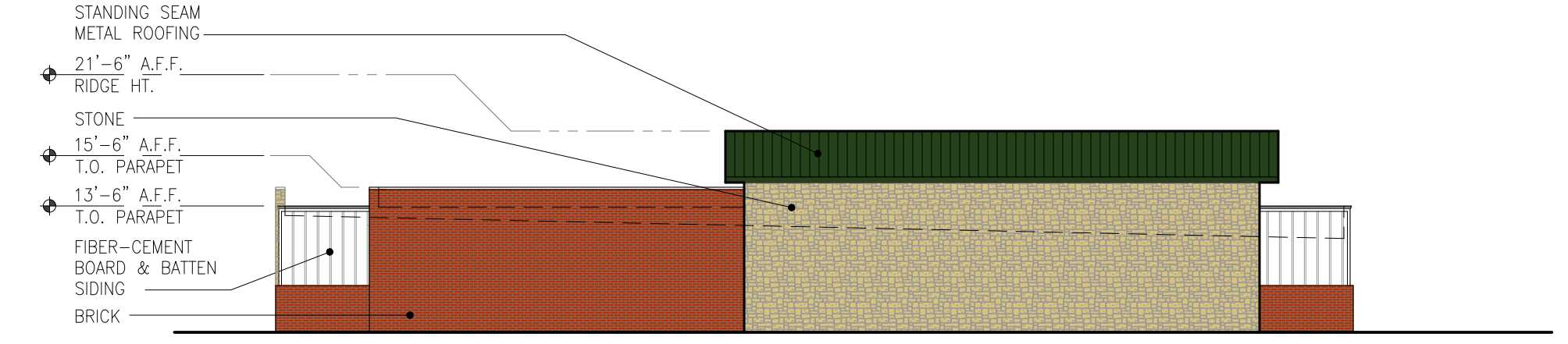
**EXTERIOR WALL FINISH MATERIALS**

BRICK	425 SF	24%
SIDING	730 SF	40%
STONE	435 SF	25%
E.I.F.S.	175 SF	10%
TOTAL	1,765 SF	100%

**3 NORTH (SPRINGER LN) ELEVATION**  
SCALE: 1/16" = 1'-0"

**BUILDING TOTALS**

BRICK	4,292 SF	29%
SIDING	7,031 SF	47%
STONE	3,496 SF	23%
E.I.F.S.	175 SF	1%
TOTAL	14,994 SF	100%



**EXTERIOR WALL FINISH MATERIALS**

BRICK	710 SF	40%
SIDING	175 SF	10%
STONE	880 SF	50%
TOTAL	1,765 SF	100%

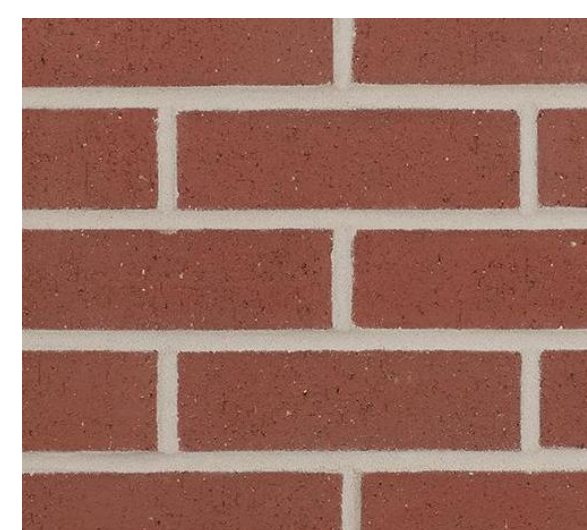
**2 SOUTH (HWY 276) ELEVATION**  
SCALE: 1/16" = 1'-0"



**EXTERIOR WALL FINISH MATERIALS**

BRICK	1,500 SF	26%
SIDING	3,334 SF	58%
STONE	898 SF	16%
TOTAL	5,732 SF	100%

**1 EAST (INTERNAL) ELEVATION**  
SCALE: 1/16" = 1'-0"



BRICK - TO MATCH EXISTING



STONE - CHOPPED SANDSTONE



PAINT - ICE CUBE; SW6252 or equal



METAL ROOFING - DARK GREEN or equal



EXISTING HIGHWAY 276 FACADE

**APPLICANT**  
 APPLICANT: CLAYMOORE ENGINEERING  
 CONTACT PERSON: DREW DONOSKY  
 ADDRESS: 1903 CENTRAL DRIVE #406  
 BEDFORD, TX 76021  
 EMAIL: drew@claymooreeng.com  
 PHONE: 817.281.0572

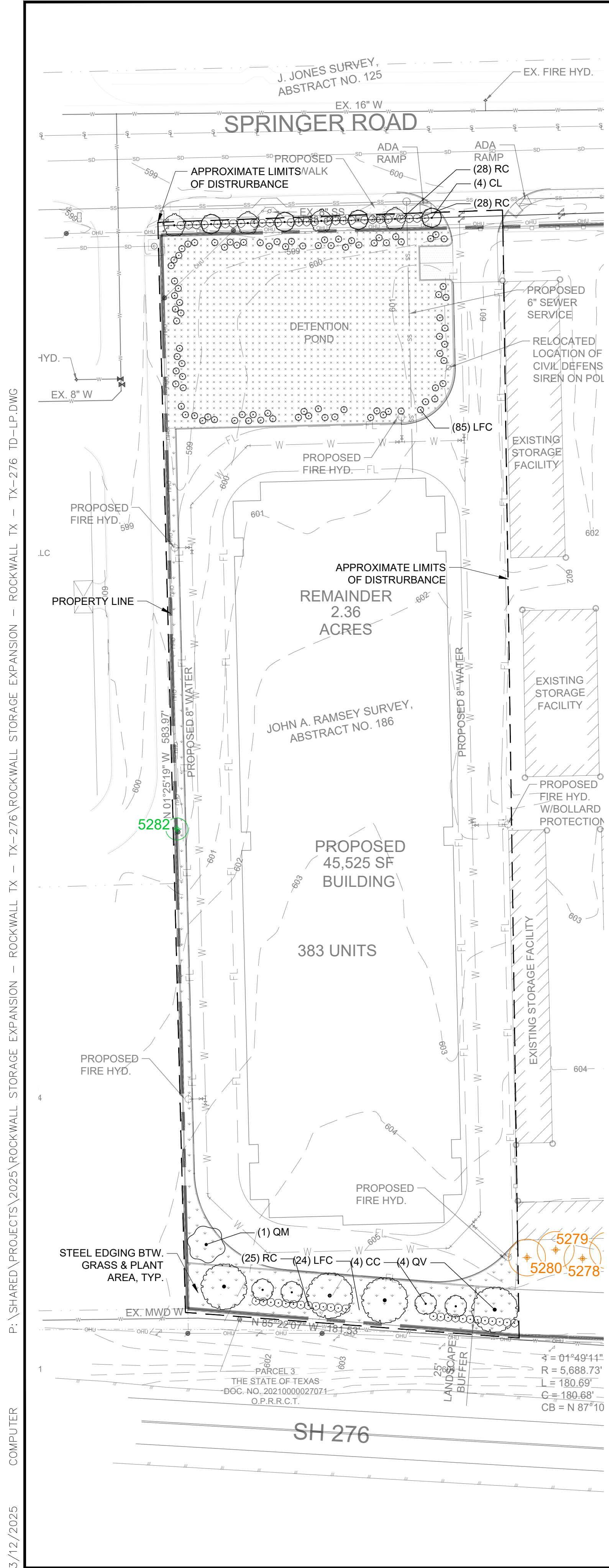
**DEVELOPER**  
 DEVELOPER: MONTFORT CAPITAL PARTNERS, LLC  
 CONTACT PERSON: SHRENİK SHAH  
 ADDRESS: 5151 BELTLINE RD, #725  
 DALLAS, TX 75254  
 EMAIL: shrenik.shah@montfortcp.com  
 PHONE: 469.368.2035

**OWNER**  
 OWNER: PRISM LEASING, LTD  
 CONTACT PERSON:  
 ADDRESS: 625 SUNSET HILL DR.  
 ROCKWALL, TX 75087  
 EMAIL:  
 PHONE:

**PROJECT**  
 NAME: ROCKWALL STORAGE EXPANSION  
 ADDRESS: 2301 HIGHWAY 276  
 ROCKWALL, TX 75032

CASE#: \_\_\_\_\_





### LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE 4 CANOPY TREES, 4 ACCENT TREES, & SHRUBS PROVIDED 8 ACCENT TREES*, & SHRUBS PROVIDED
SH 276 - ±181' OF STREET FRONTAGE: SPRINGER ROAD - ±186' OF STREET FRONTAGE:	
* ACCENT TREES USED DUE TO OVERHEAD POWER LINES.	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT NEW CONSTRUCTION SITE AREA: LANDSCAPE AREA REQUIRED SITE: LANDSCAPE PROVIDED:	108,527 SF 21,705.4 SF (20%) 29,310 SF (27%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS WIDE AND A MIN. OF 25 SF IN AREA	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5'
DETENTION BASIN SITE AREA: DETENTION BASINS PLANTING REQUIRED: DETENTION BASING PLANTING PROVIDED: XERISCAPE OPTION	16,013 SF NATIVE GRASS & 4 SHRUBS PER 750 SF 16,013 / 750 = 21.35; 21.35 x 4 = 85 SHRUBS & NATIVE GRASS
ARTICLE 09: TREE PRESERVATION 05: TREE MITIGATION REQUIREMENTS MITIGATION REQUIRED: MITIGATION PROVIDED:	YES 1 - 4" CALIPER TREE
06.01: REPLACEMENT TREES ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER	1 REQUIRED

### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>LARGE TREES</b>					
	QM	Quercus muehlenbergii / Chinkapin Oak	4" Cal.	Cont. or B&B	1
	QV	Quercus virginiana / Southern Live Oak	4" Cal.	Cont. or B&B	4
<b>SMALL TREES</b>					
	CC	Cercis canadensis texensis / Texas Redbud	4" Ht.	Cont. or B&B	4
	CL	Chilopsis linearis / Desert Willow	4" Ht.	Cont. or B&B	4
	RC2	Rhus copallinum 'Flameleaf' / Flameleaf Sumac	4" Ht.	Cont. or B&B	4
<b>SHRUBS</b>					
	LFC	Leucophyllum frutescens 'Compacta' / Compact Texas Sage	5 gal.	Cont.	85
	RC	Rhaphiolepis indica 'Pinkie' / Indian Hawthorn	5 gal.	Cont.	53
<b>SOD/SEED</b>					
	SM	Blackland Prairie Seed Mix / Native American Seed (Seedsources.com)			16,013 sf
	TRF	Cynodon dactylon x transvaalensis 'DT-1' / Tiftuf™ Bermudagrass solid sod, staggered joints, thick and green, no gaps between sod pieces			6,992 sf

### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

### IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

### ROOT BARRIERS

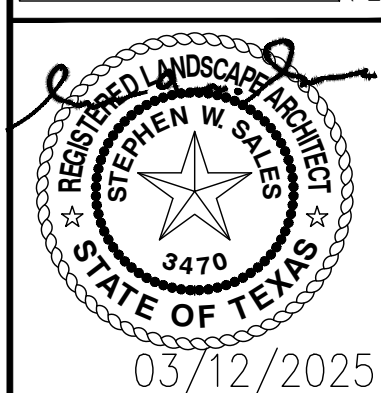
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

### PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



**ROCKWALL STORAGE EXPANSION**  
2398 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

### LANDSCAPE PLANTING PLAN



DESIGN:	JML
DRAWN:	JML
CHECKED:	SS
DATE:	3-12-25
SHEET	
<b>LP-1</b>	
File No.	2024-119

P:\SHARED\PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-LP.DWG  
COMPUTER  
3/12/2025

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

B. SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCH, TOPSOIL, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).

C. GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES.

D. TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.

E. SHRUB PLANTING

- 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDMENTS PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.

F. SOODING

- 1. SOOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS AS ADVISED BY THE MANUFACTURER.

G. MULCH

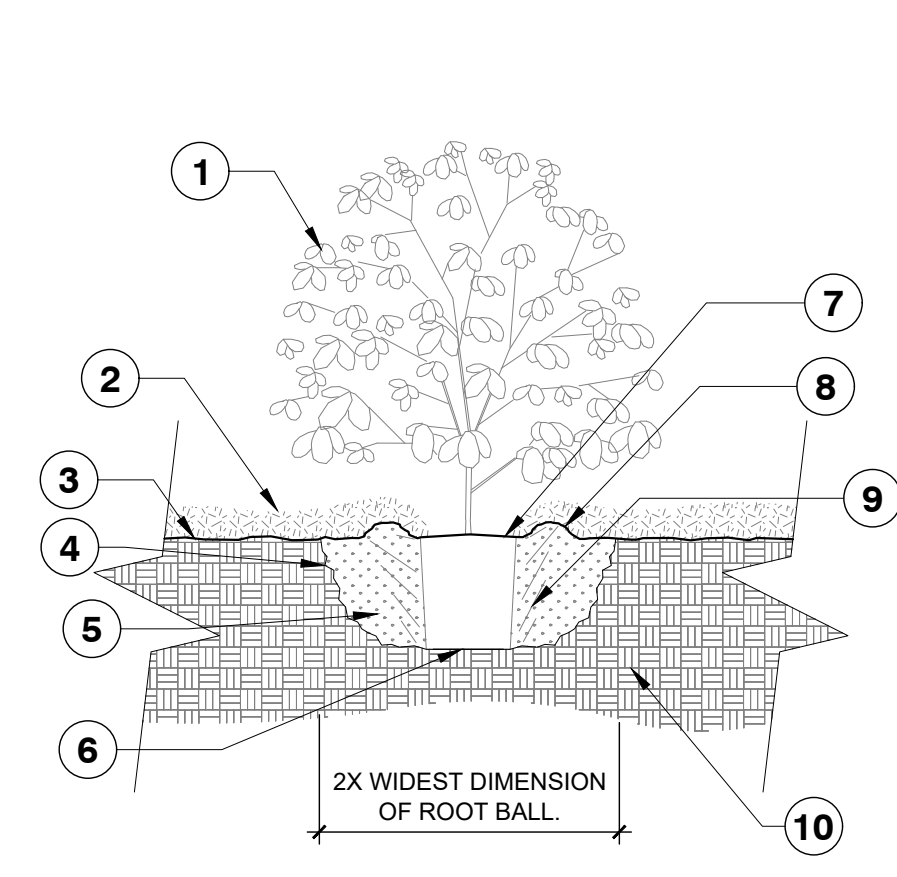
- 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

H. CLEAN UP

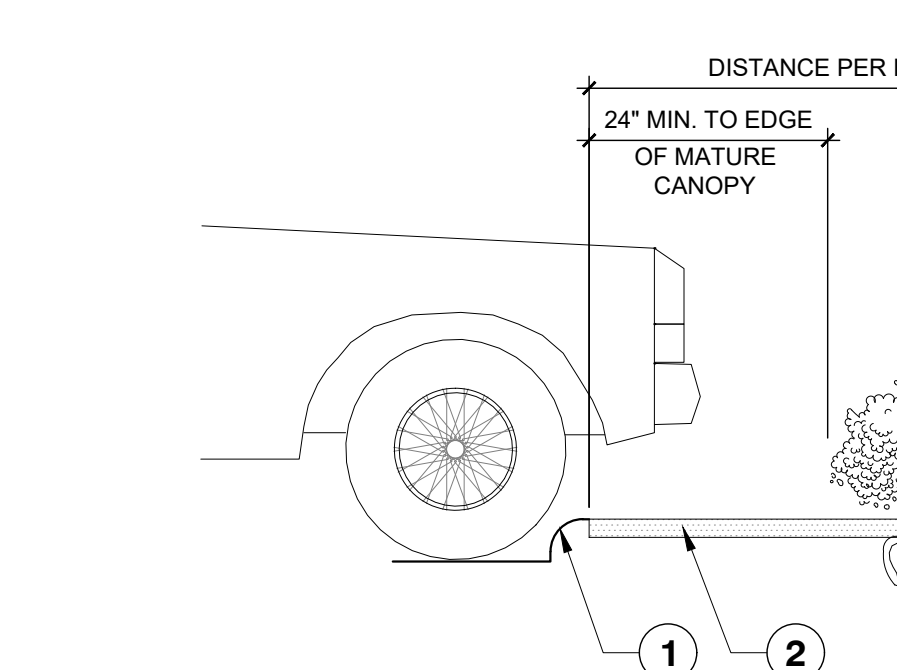
- 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE

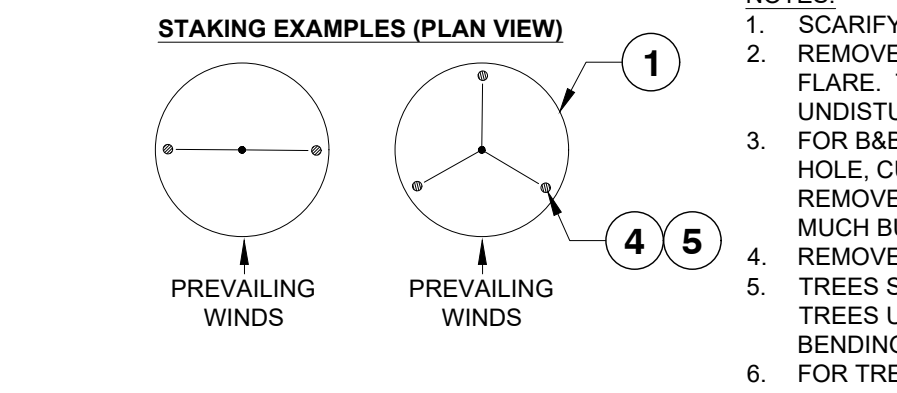
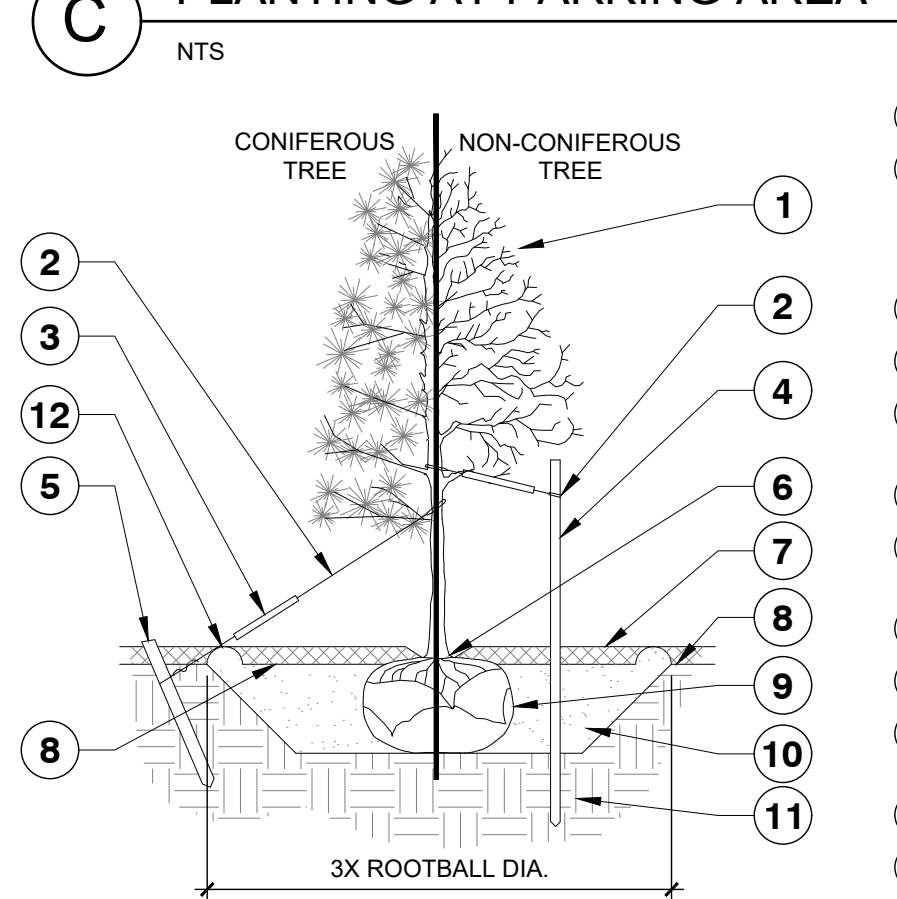
- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.



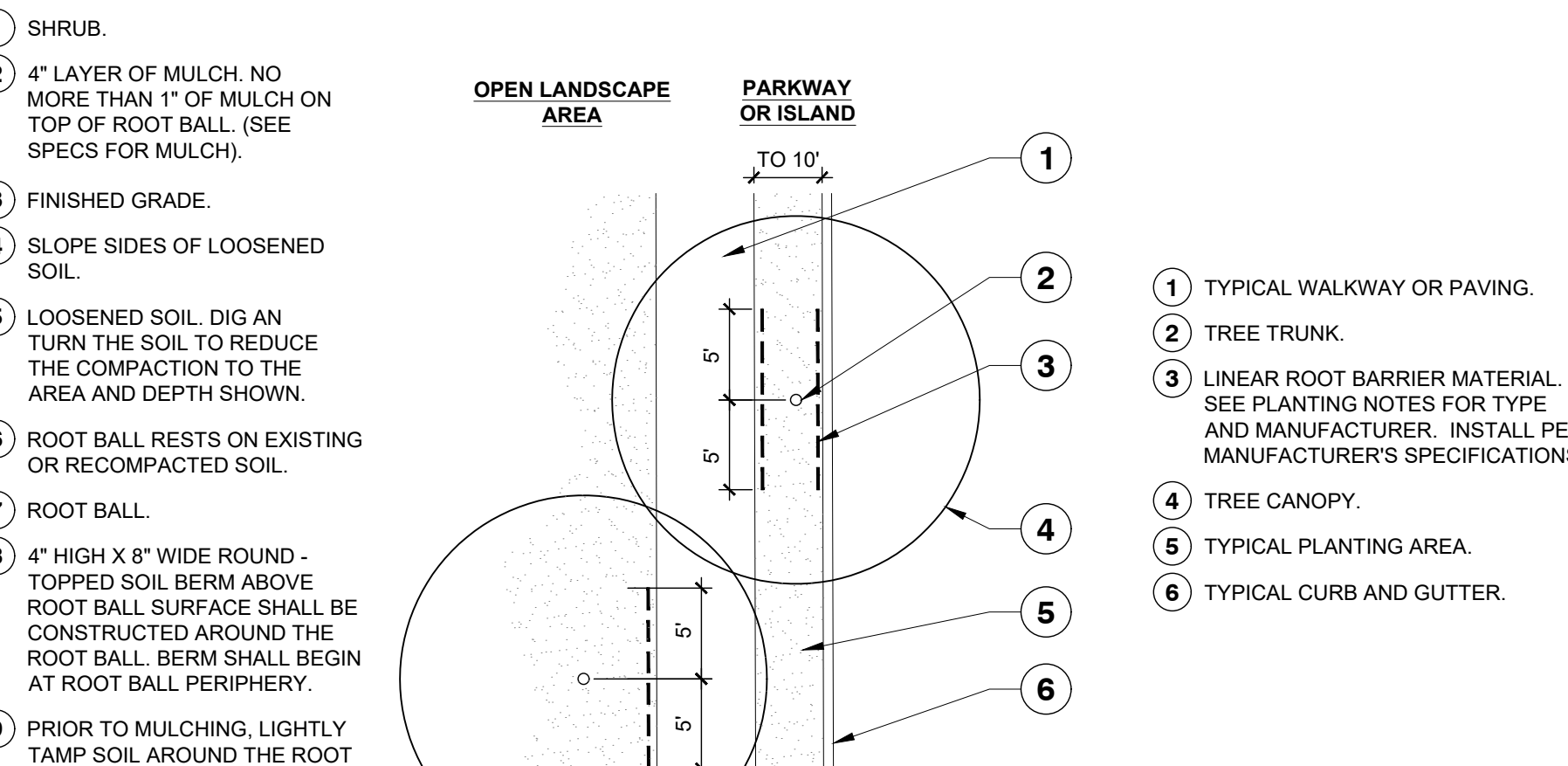
- NOTES:
1. SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



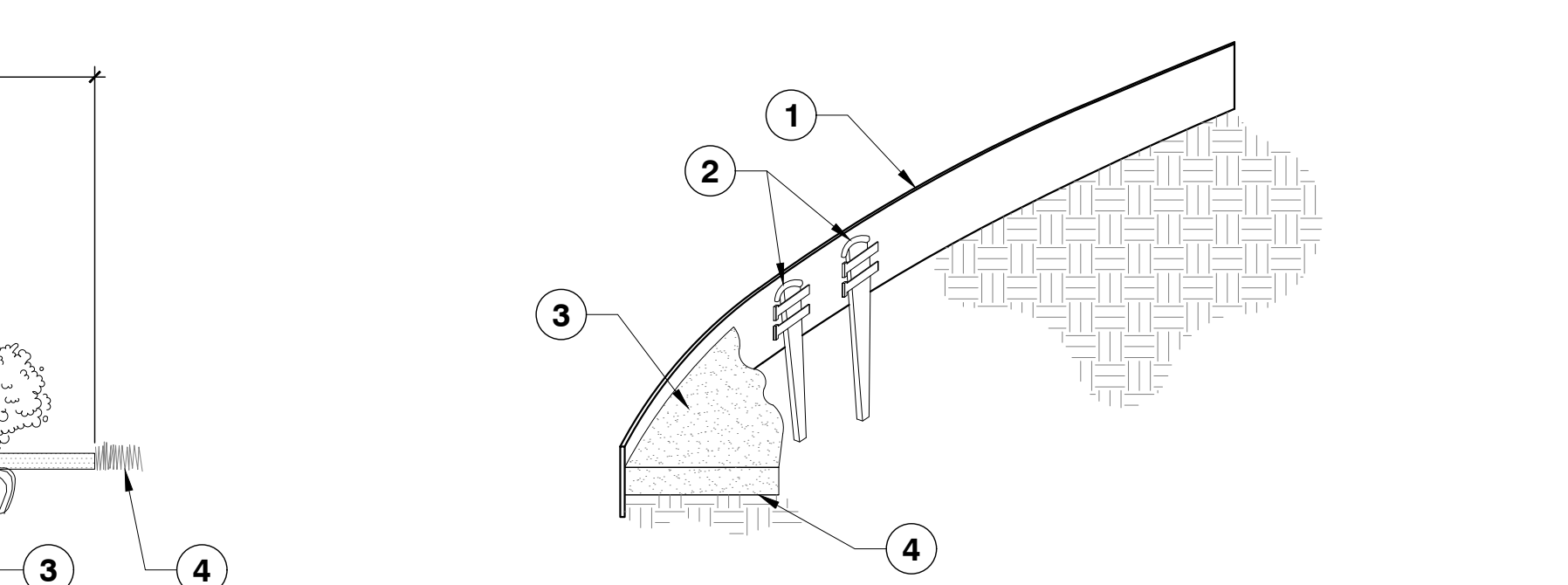
- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.
4. STEEL EDGING SHOULD BE SMOOTH & CONSISTENT AT CURVES & SHOULD JOIN AT 90 DEGREE ANGLES UNLESS OTHERWISE NOTED.



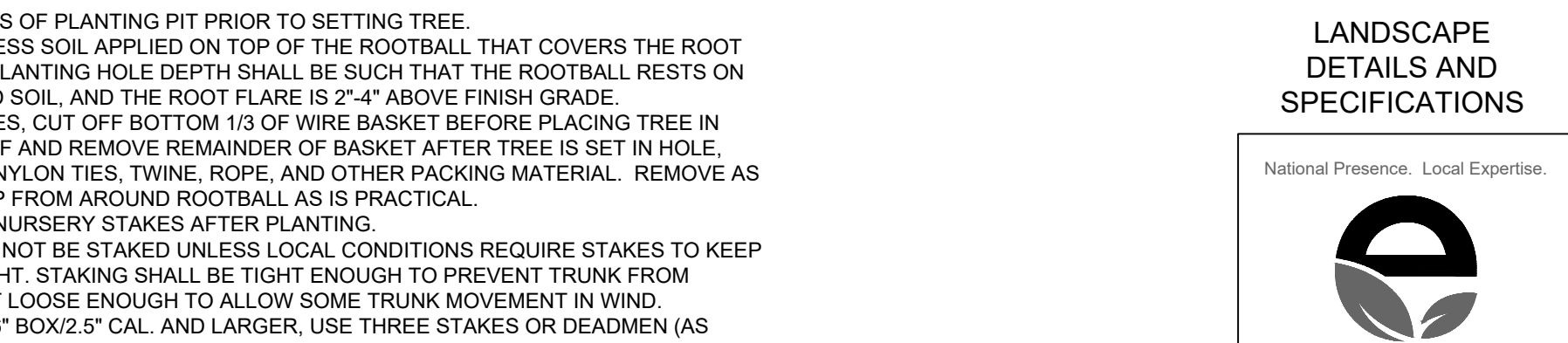
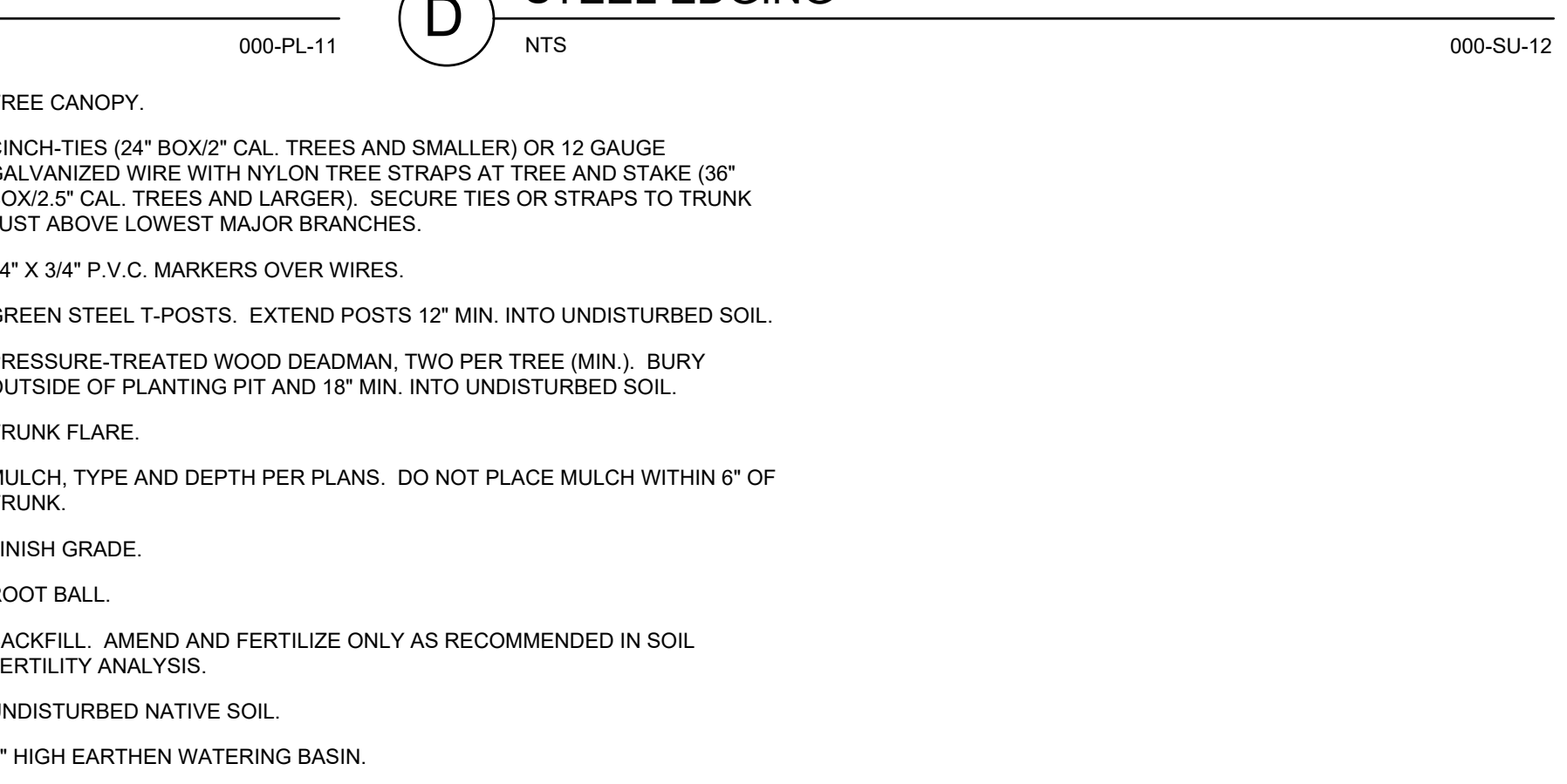
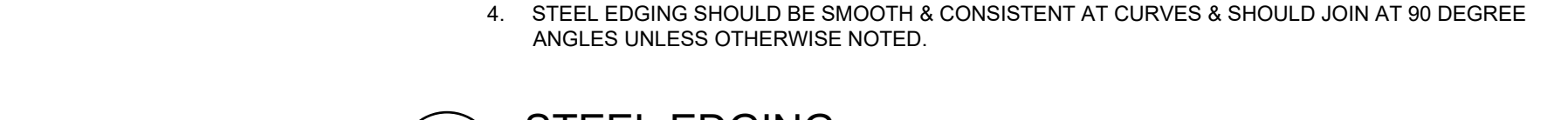
- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.



- NOTES:
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.



- NOTES:
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2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.
4. STEEL EDGING SHOULD BE SMOOTH & CONSISTENT AT CURVES & SHOULD JOIN AT 90 DEGREE ANGLES UNLESS OTHERWISE NOTED.



- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING

LANDSCAPE ARCHITECT
STATE OF TEXAS
03/12/2025

ROCKWALL STORAGE EXPANSION
2398 TX-276
ROCKWALL, TX 75032

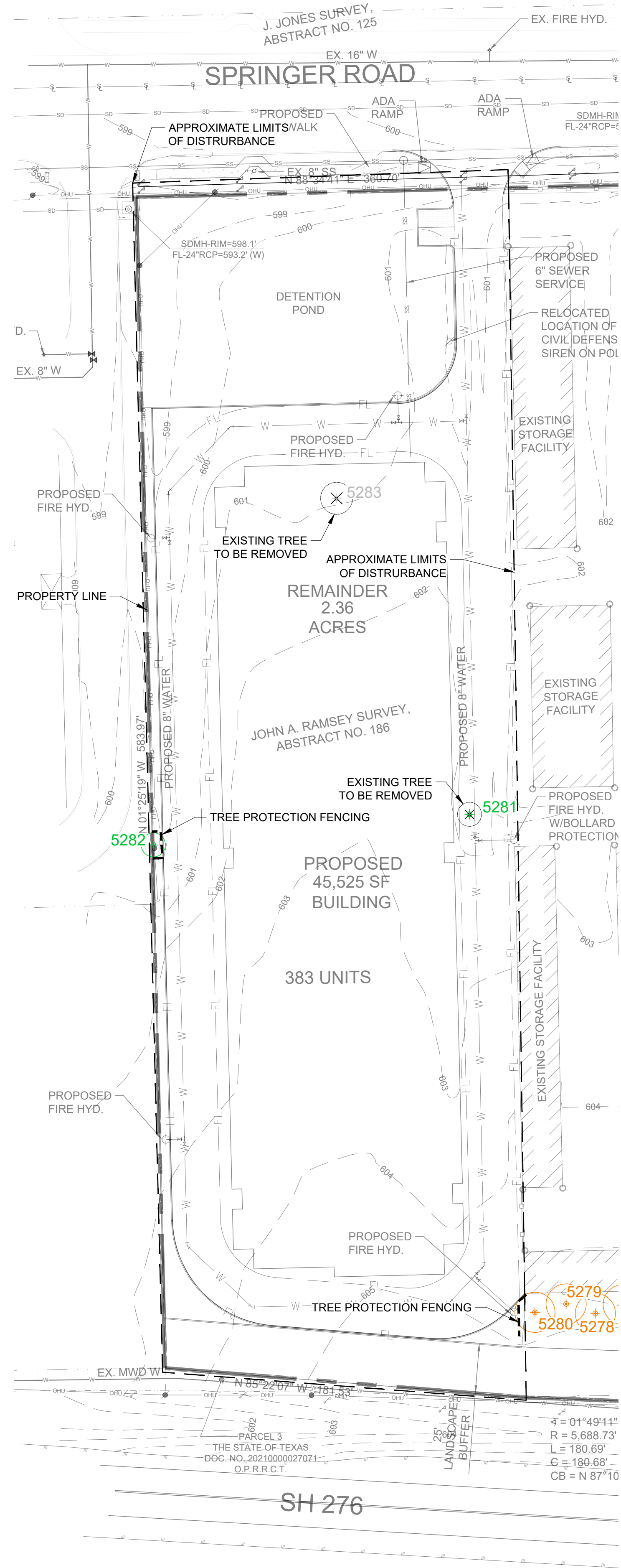
Table with columns: NO., DATE, REVISION, BY.

LANDSCAPE DETAILS AND SPECIFICATIONS
EVERGREEN DESIGN GROUP
800.889.6830
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DRAWN: JML
CHECKED: SS
DATE: 3-12-23
SHEET LP-2
File No. 2024-119

3/12/2025 JEFFREY LUERS P:\SHARED\PROJECTS\2025\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276\ROCKWALL STORAGE EXPANSION - ROCKWALL TX - TX-276 TD-IP-DWG

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JEFFREY LUERS 3/12/2025



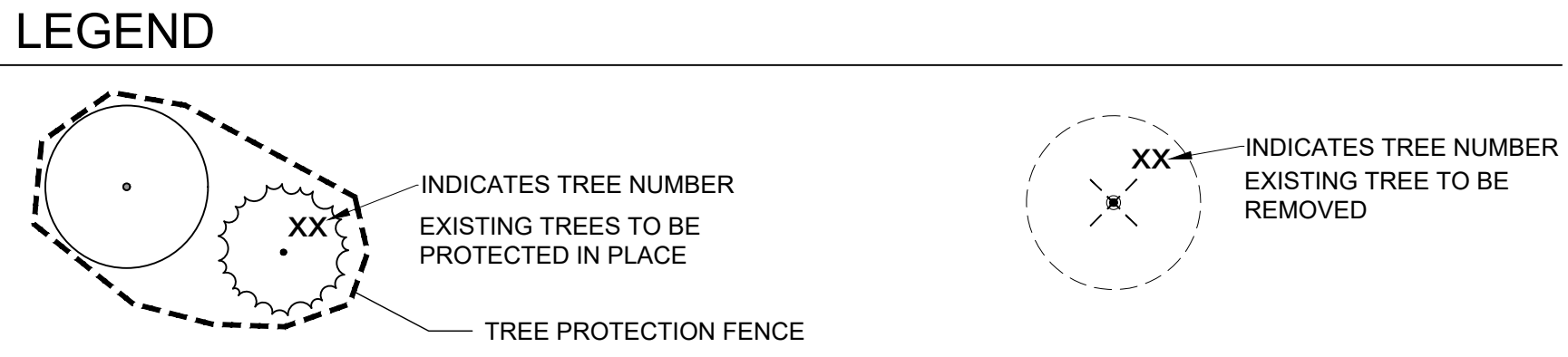
**EXISTING TREE LEGEND**

- 5XXX Non-Protected Trees
- 5XXX Primary Trees - 1:1 Replacement Ratio
- 5XXX Secondary Trees - 0.5 Replacement Ratio

**TREE INVENTORY**

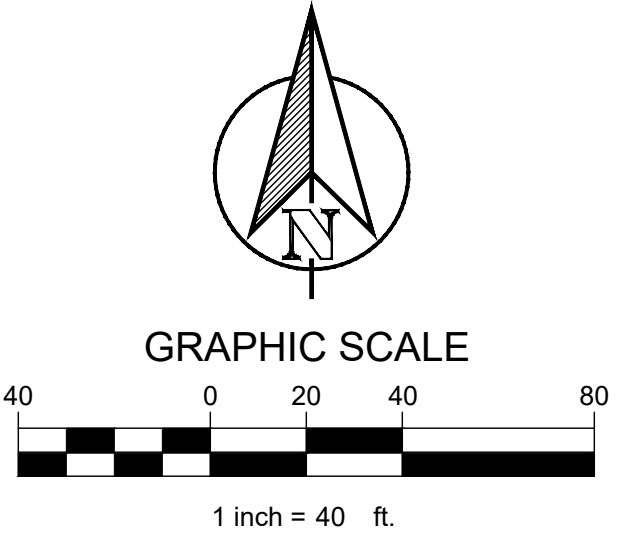
TREEID	SPECIES	DBH	STATUS	MITIGATION
5278	CREPEMYRTLE	10	REMAIN	
5279	CREPEMYRTLE	10	REMAIN	
5280	CREPEMYRTLE	10	REMAIN	
5281	CEDAR	6	REMOVE	YES4" TREE
5282	CEDAR	8	REMAIN	
5283	HACKBERRY	8	REMOVE	NO

- TREE PROTECTION GENERAL NOTES**
- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
    - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
    - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
    - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
  - (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
  - (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
  - (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
  - (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
  - (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BRESTH HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE COUNTY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
  - (G) THE COUNTY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
  - (H) IF, IN THE OPINION OF THE COUNTY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**



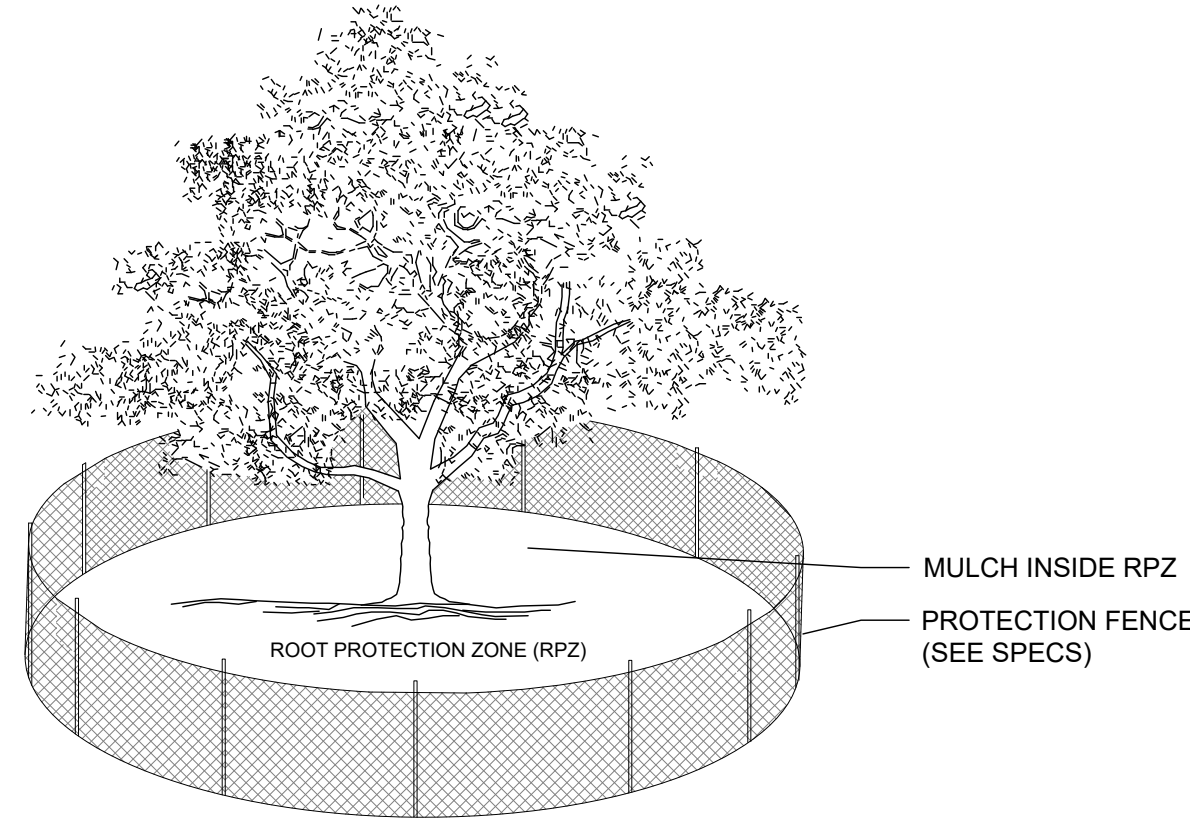
**ROCKWALL STORAGE EXPANSION**  
2398 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY



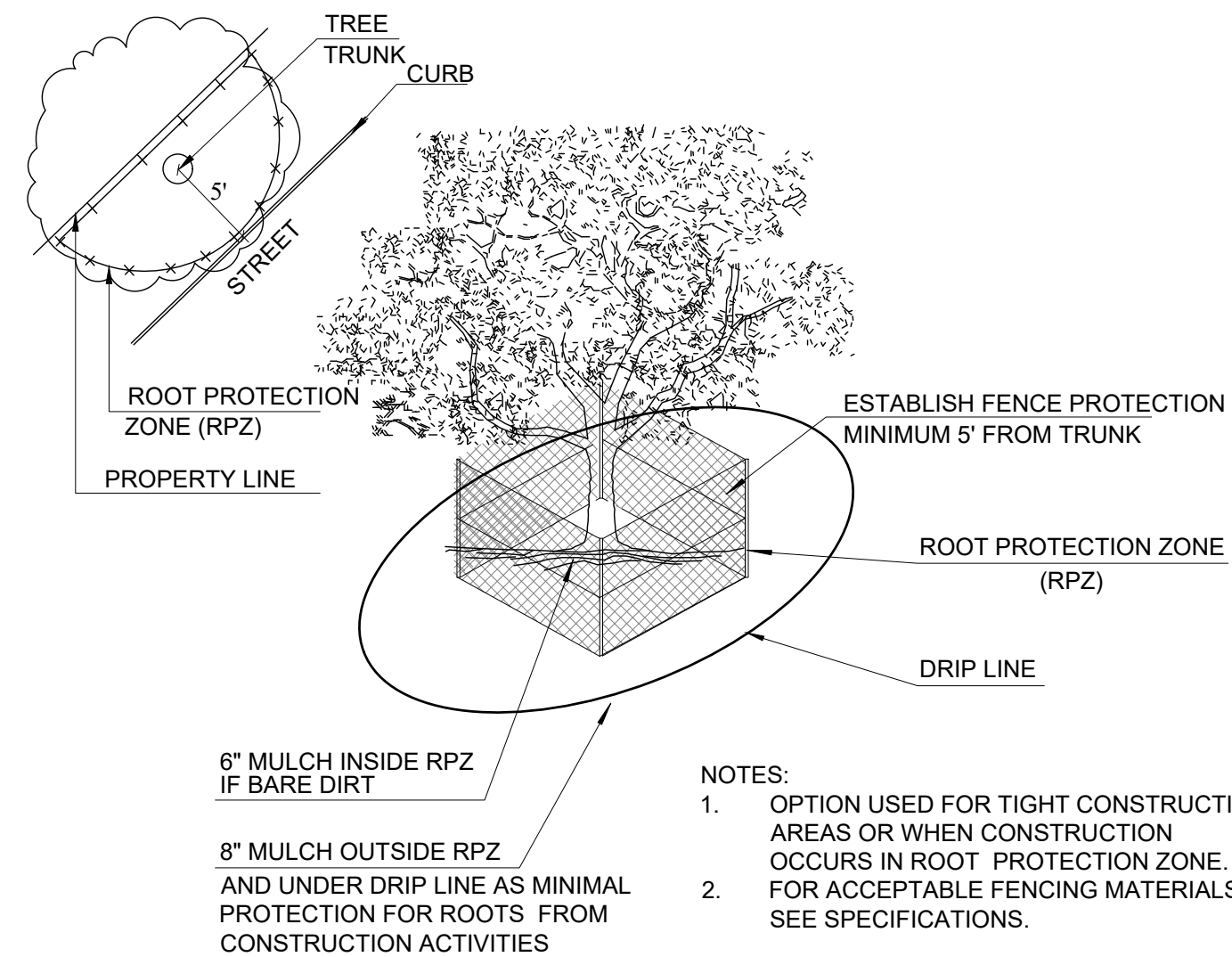
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- NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
  2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

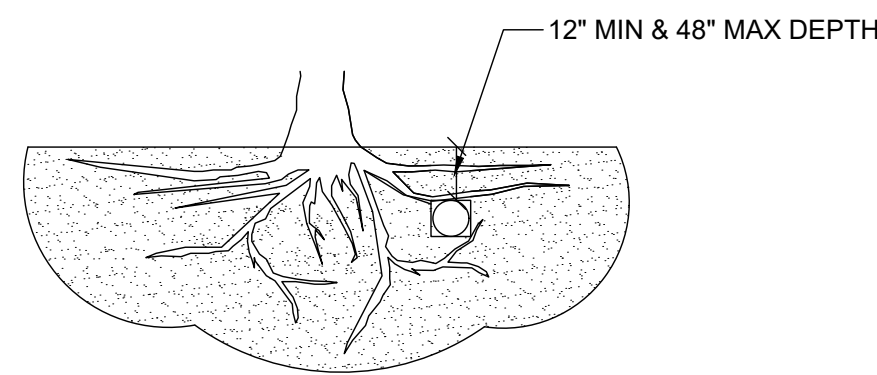
**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



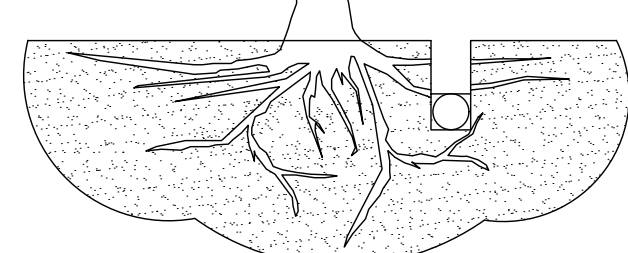
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



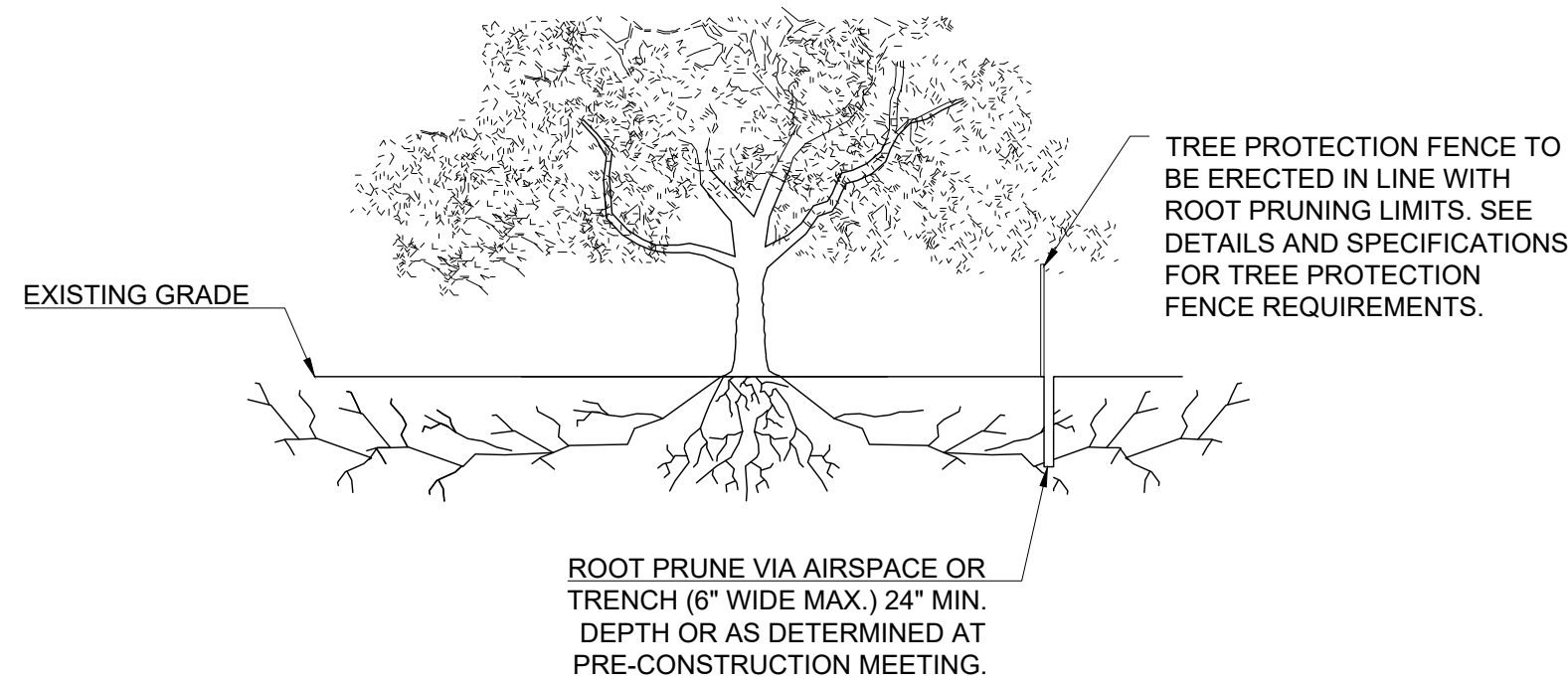
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



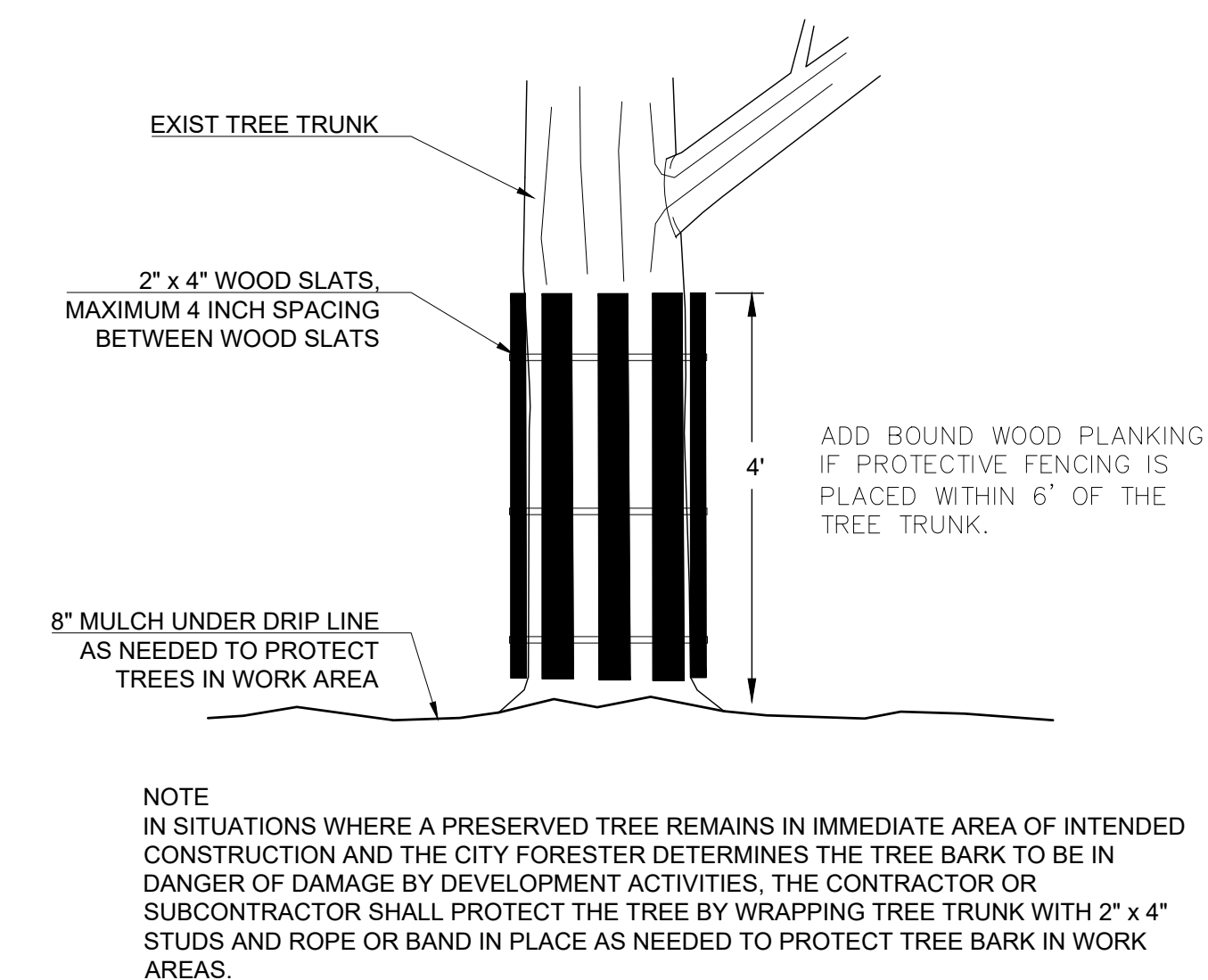
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

- NOTES
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
  2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
  3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
  4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
  5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
  6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
  7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**E TREE BARK PROTECTION**  
SCALE: NOT TO SCALE

NOTE  
IN SITUATIONS WHERE A PRESERVED TREE REMAINS IN IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE CITY FORESTER DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY DEVELOPMENT ACTIVITIES, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY WRAPPING TREE TRUNK WITH 2" x 4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREE BARK IN WORK AREAS.

**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T SHAPED WITH A MINIMUM WEIGHT OF 13 POUNDS PER LINEAR FOOT.
3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
7. WITHIN THE CRZ:
  - a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.

**TREE RELOCATION GUIDELINES**

1. TREES SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT OR REPLANTING OF THE TREE.
2. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER WINDS OR DURING DROUGHT.
3. ADEQUATE SPACES FOR ROOT AND CROWN DEVELOPMENT SHALL BE PROVIDED.
4. TREES SHALL BE ROOT AND CROWN PRUNED IN ACCORDANCE WITH SOUND ARBORICULTURAL STANDARDS PRIOR TO TRANSPLANTING.
5. DURING AND FOLLOWING TRANSPLANTING, THE ROOT BALL AND TRUNK SHALL BE PROTECTED. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
6. TRANSPLANTED TREES SHALL BE BRACED FOR A MINIMUM OF ONE (1) YEAR.
7. TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
8. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH "THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300, TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE-STANDARD PRACTICES", AND "Z-133.1 PRUNING, REPAIRING, MAINTAINING AND REMOVING TREES, AND CUTTING BRUSH-SAFETY REQUIREMENTS" OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN RICHARD HARRIS, "ARBORICULTURE INTEGRATED MANAGEMENT OF LANDSCAPE TREES, SHRUBS AND VINES", AS AMENDED.
9. CONTRACTOR IS RESPONSIBLE FOR REGULAR WATERING AND MAINTENANCE OF TRANSPLANTED TREES DURING STORAGE PERIOD.

1. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**TREE DISPOSITION DETAILS AND SPECIFICATIONS**

National Presence. Local Expertise.

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TEXAS REGISTRATION #14199

**CLAY MOORE ENGINEERING**

PHONE: 817.381.0072  
WWW.CLAYMOOREENGINEERING.COM  
100 CENTRAL DR. SUITE 4000  
ROCKWALL, TX 75087

REGISTERED LANDSCAPE ARCHITECT  
STEPHEN W. SALES  
STATE OF TEXAS  
3470  
03/12/2025

**ROCKWALL STORAGE EXPANSION**  
2398 TX-276  
ROCKWALL, TX 75032

NO.	DATE	REVISION	BY

DESIGN: JML  
DRAWN: JML  
CHECKED: SS  
DATE: 3-12-25

SHEET  
**TD-2**

File No. 2024-119

NO.	REVISIONS	DESCRIPTION	DATE

**Rockwall Storage Expansion**  
An Expansion for The Storage Locker  
2301 Hwy 276, Rockwall, Texas

PROJECT NUMBER  
**2506**  
DATE  
**03.12.25**  
SHEET NUMBER

**PM1.0**

photometrics site plan

## Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	✕	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
SITE	+	2.5 fc	20.4 fc	0.0 fc	N/A	N/A

### SCHEDULE - NOT FOR USE IN CONSTRUCTION DOCUMENTS

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Distribution
○	CE	6	Lithonia Lighting	LDN6 40/25 LO6AR LD	6IN LDN, 4000K, 2500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180		1	LDN6_40_25_LO6AR_LD.ies	2244	0.95	28.25	DIRECT, SC-0=1.02, SC-90=1.03
▭	D	20	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 4000K color temperature 120-277 Volt		1	WPX2_LED_40K_Mvolt.ies	5896	0.95	47.77	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1

Contractor Select™  
**WPX LED**  
Wall packs

The WPX LED wall packs are energy efficient, cost effective, and aesthetically appealing full cut off solution for both new construction and HID wall pack replacement/renovation opportunities. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life.



**APPLICANT**  
APPLICANT: CLAYMOORE ENGINEERING  
CONTACT PERSON: DREW DONOSKY  
ADDRESS: 1903 CENTRAL DRIVE #406  
BEDFORD, TX 76021  
EMAIL: drew@claymooreeng.com  
PHONE: 817.281.0572

**DEVELOPER**  
DEVELOPER: MONTFORT CAPITAL PARTNERS, LLC  
CONTACT PERSON: SHRENİK SHAH  
ADDRESS: 5151 BELTLINE RD, #725  
DALLAS, TX 75254  
EMAIL: shrenik.shah@montfortcp.com  
PHONE: 469.368.2035

**OWNER**  
OWNER: PRISM LEASING, LTD  
CONTACT PERSON: \_\_\_\_\_  
ADDRESS: 625 SUNSET HILL DR.  
ROCKWALL, TX 75087  
EMAIL: \_\_\_\_\_  
PHONE: \_\_\_\_\_

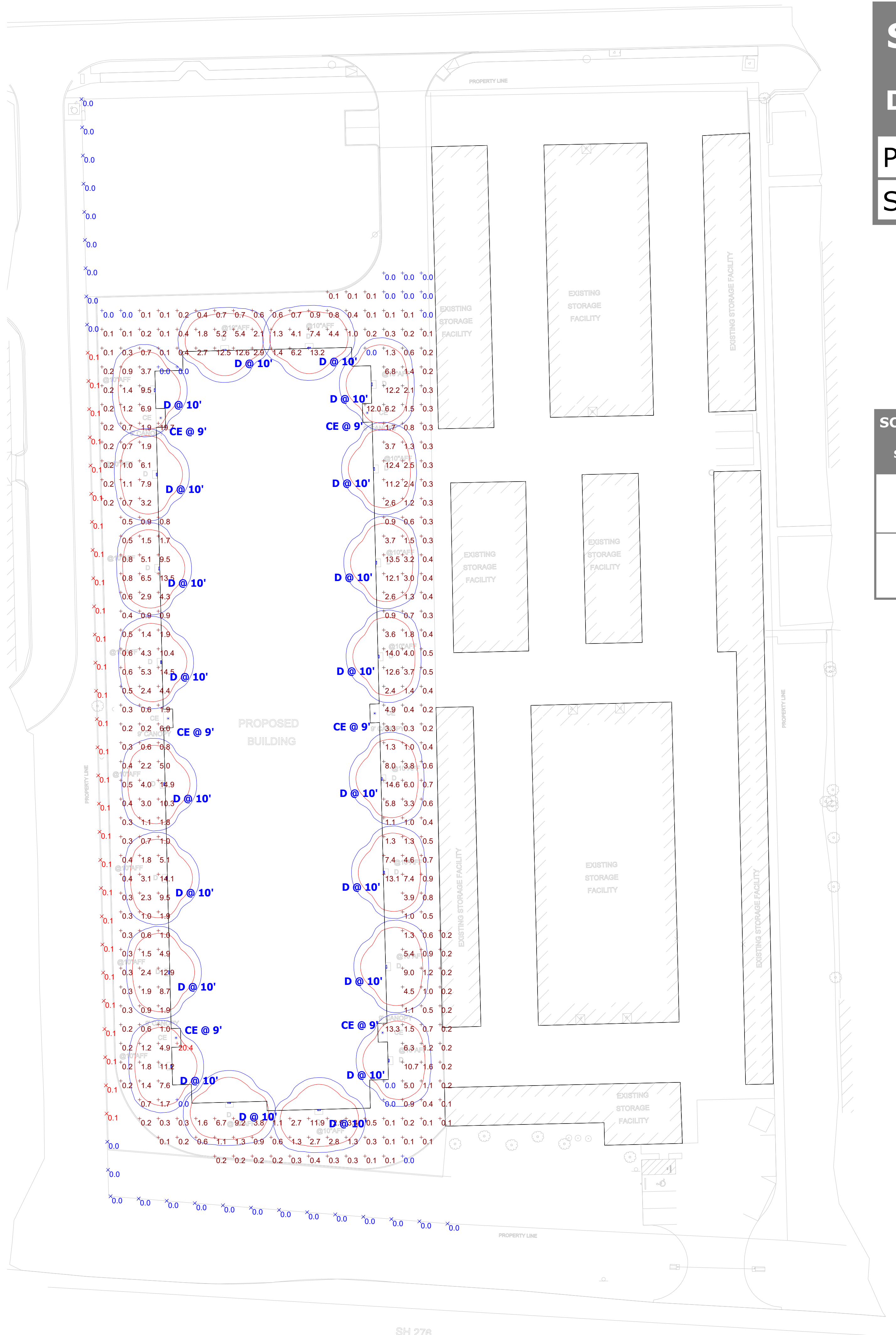
**PROJECT**  
NAME: ROCKWALL STORAGE EXPANSION  
ADDRESS: 2301 HIGHWAY 276  
ROCKWALL, TX 75032  
CASE#: \_\_\_\_\_

**Note**  
1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.  
2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.  
3. VALUE NEXT TO LUMINAIRE LABEL DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.

This document was prepared to convey a concept and not a detail working system. Spectrum Lighting San Antonio LLC makes no representation, express or implied, with respect to the use of the information conveyed in this document, regardless of its format or the means of its distribution. Any specific information regarding the installation must be provided by the manufacturer of the equipment. There is no guarantee or representation to the user as to the accuracy, currency, suitability, or reliability of this document for any purpose.

The fixture schedule above does not contain the complete fixture nomenclature required for construction or bidding purposes. The fixture nomenclature listed is the photometric file of the base fixture.

Please contact Spectrum Lighting San Antonio for a complete fixture schedule.



SH 276  
**Plan View**  
Scale - 1" = 32'

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/21/2025

PROJECT NUMBER: SP2025-012  
PROJECT NAME: Site Plan for 1500 Mims Road  
SITE ADDRESS/LOCATIONS: 1500 MIMS RD, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Frank Polma P.E. of R-Delta Engineers, Inc. on behalf of David Naylor of Rayburn Electric Cooperative for the approval of a Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [Ordinance No. 24-30] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/21/2025	Needs Review

03/21/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Private Indoor Gun Range on a 1.407-acre portion of a larger 48.6670-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) [Ordinance No. 24-30] for Heavy Commercial (HC) District land uses, generally located on the northside of Mims Road west of the intersection of S. Goliad Street [SH-205] and Mims Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2025-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish the new easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

M.6 Site Plan.

(1) Please indicate the delineated front yard setback as 25-feet. (Subsection 03.04.B, of Article 11, UDC)

(2) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article

05, UDC)

M.7 Landscape Plan.

(1) Please delineate and label the berms within the landscape buffer. (Subsection 05.01, of Article 08, UDC)

M.8 Photometric Plan

(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

(2) The light levels may not exceed 0.2 FC at any property line. In this case, the light levels exceed 0.2 FC along Mims Road. (Subsection 03.03.G, of Article 07, UDC)

M.9 Building Elevations

(1) The proposed building does not meet the primary and secondary articulation standards. Given the intended purposed of the building, the articulation options are limited. This will be an Exception. (Subsection 04.01, of Article 05, UDC)

(2) Please indicate the height of the parapet. Buildings with a flat roof are required a parapet that continues around the entire building. (Subsection 04.01, of Article 05, UDC)

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Revised and corrected plans are due by 3:00 PM on April 1, 2025.

I.12 Please note the scheduled meetings for this case:

(1) Planning & Zoning meeting/work session meeting will be held on March 25, 2025.

(2) Planning & Zoning meeting/public hearing meeting will be held on April 15, 2025.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	03/20/2025	Approved w/ Comments

- 03/20/2025:
1. Show detention area
  2. Where is this and who does it belong to?
  3. Water line to be centered in 20' easement
  4. Install 5' sidewalk
  5. Where is this?

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- The site will need to be platted.
- No signage is allowed within easements or ROW. No structures or fences within easements.

- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters may not directly face a roadway.

Drainage Items:

- Detention is required if increasing impervious area. Detention is based on zoning, not specific land area use.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at freeboard elevation. No vertical walls are allowed in detention easement.
- Detention pond is required to have an emergency spillway.
- Existing flow patterns must be maintained.
- No water or sewer lines can be in detention easement.
- Detention ponds must be irrigated.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is an existing 12" water main along Mims Road available for use.
- Minimum public sewer is 8". Minimum private sewer service is 6".
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 18" sewer main along the back floodplain area available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered in an easement. Min 20' utility easements.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, drive aisles must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without an City approved turnaround. 15'x64' striped no parking.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	03/20/2025	Approved
No Comments			



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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/19/2025	Approved

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2025	Approved w/ Comments

---

03/17/2025: Assigned address will be 1500 MIMS RD, ROCKWALL, TX 75032

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2025	Approved

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/17/2025	Approved w/ Comments

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03/17/2025: 1. Landscape approved  
2. tree mitigation approved

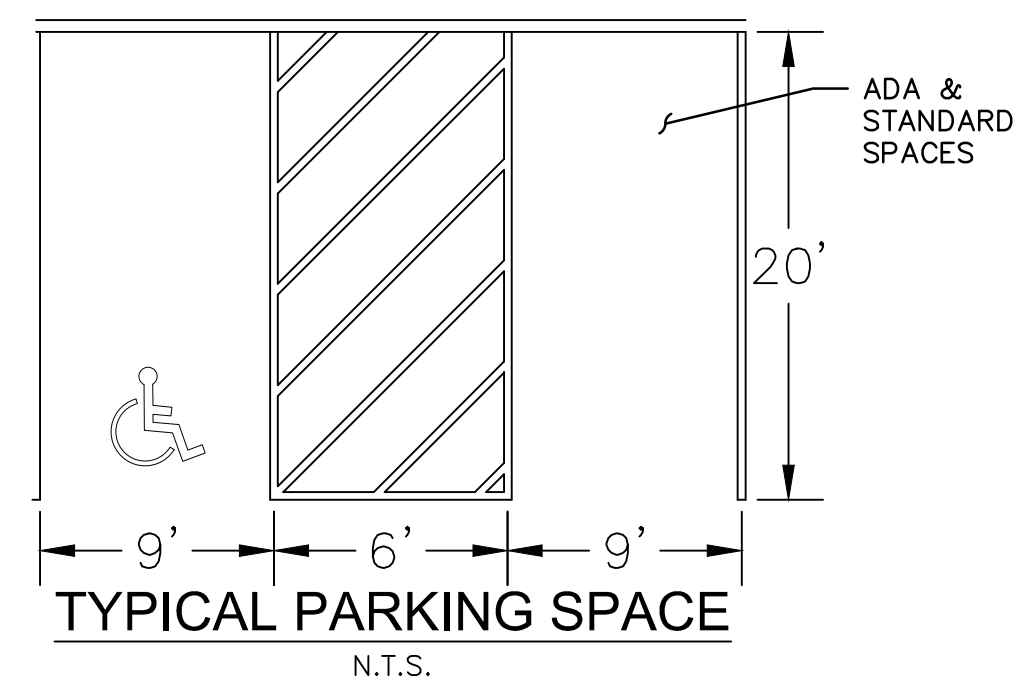
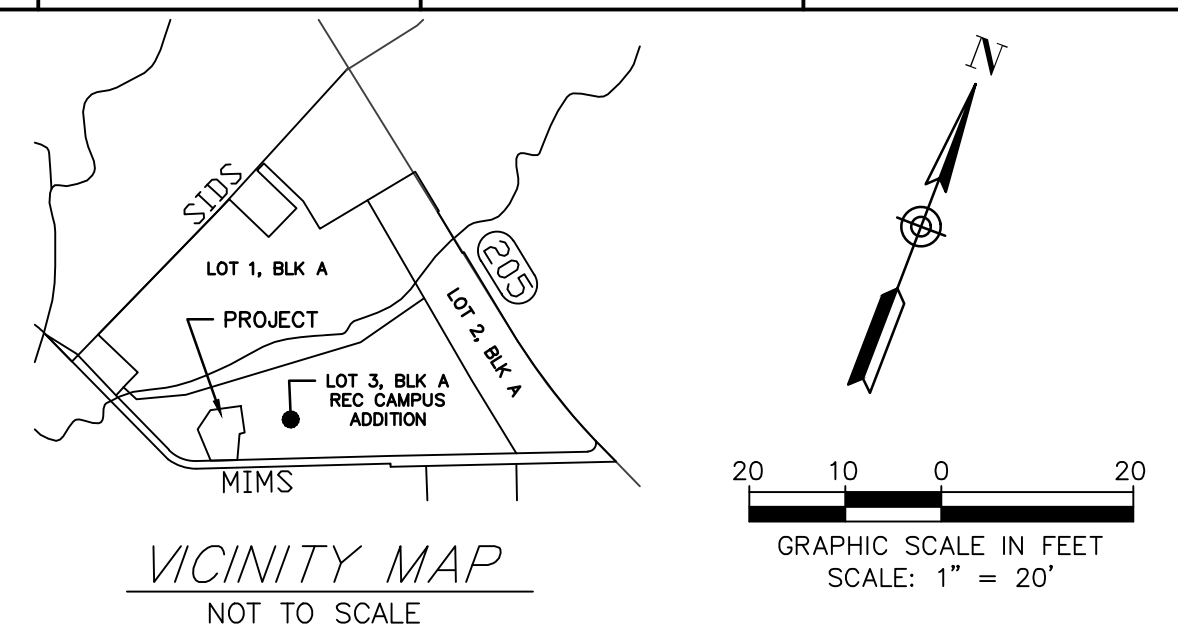
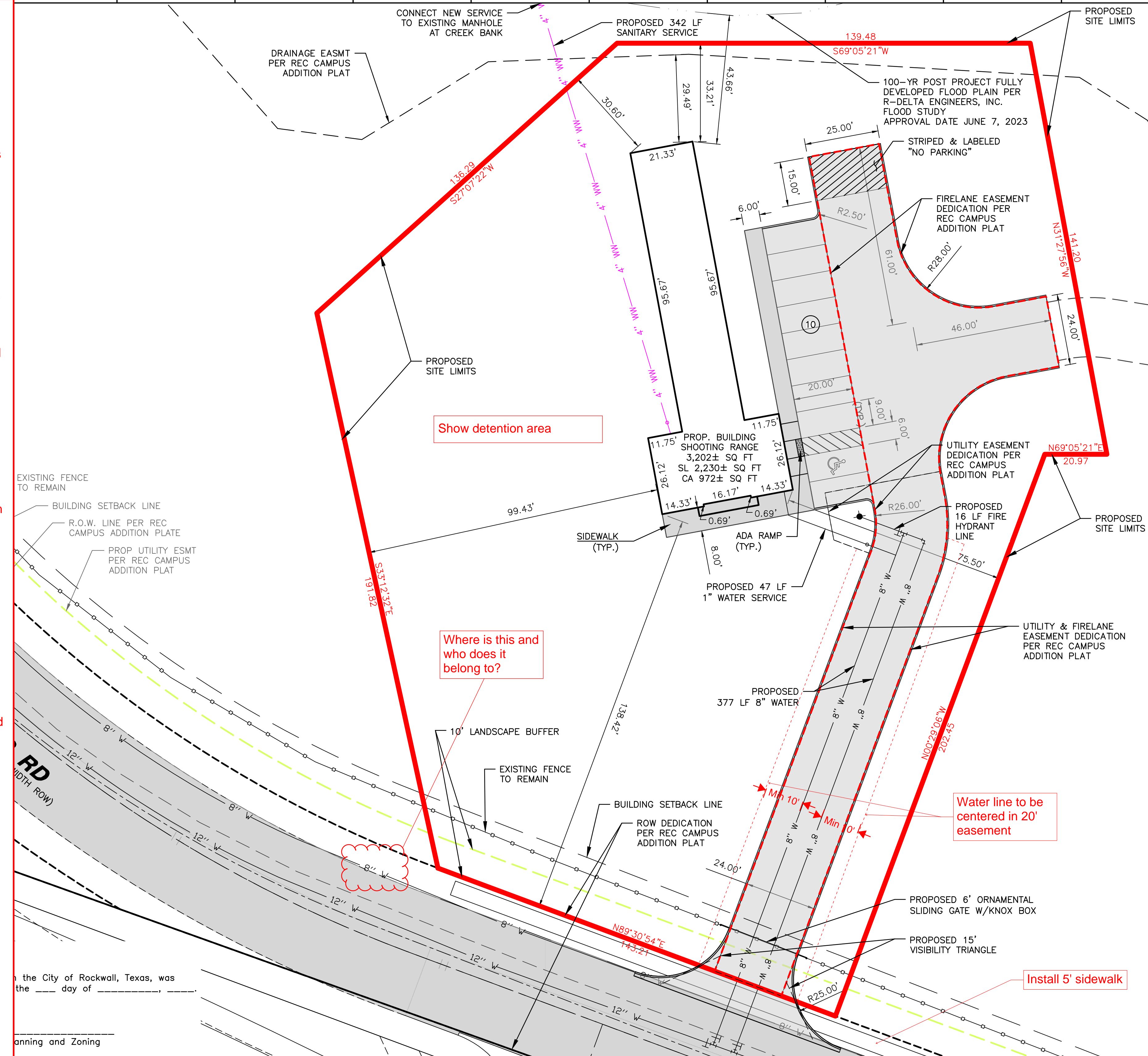
- General Items:**
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  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Wastewater & Roadway)
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  - There is an existing 18" sewer main along the back floodplain area available for use.
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  - No landscape berms or tree plantings shall be located on top of City utilities or within easements.



**ARCHITECT**  
MCCARTHY ARCHITECTURE  
1000 N. FIRST ST.  
GARLAND, TX 75040

**LANDSCAPE ARCHITECT**  
DUNKIN SIMS STOFFELS, INC.  
4305 PECAN GROVE LANE  
ROWLETT, TX 75088

**OWNER/APPLICANT**  
RAYBURN ELECTRIC COOPERATIVE  
950 SIDS ROAD  
ROCKWALL, TX 75087  
469-402-2100

**CIVIL ENGINEER**  
R-DELTA ENGINEERS, INC.  
618 MAIN STREET  
GARLAND, TEXAS 75040  
TBPE No. F-1515

**LEGEND**

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
—○—○—	EXISTING WROUGHT IRON FENCE
—○—○—	EXISTING CHAIN LINK FENCE
—○—○—	EXISTING POWER POLE
—OHE—	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
—/—/—	EDGE OF ASPHALT
—○—○—	PROPOSED ORNAMENTAL FENCE
[Hatched Box]	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
[Diagonal Lines]	ACCESSIBLE AISLE STRIPING
[Grey Box]	PROPOSED CONCRETE SIDEWALK
[Light Grey Box]	PROPOSED CONCRETE PAVEMENT

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

**REC**  
Rayburn Electric  
COOPERATIVE

618 Main Street  
Garland, TX 75040  
Ph. (972) 494-5031  
Fax (972) 487-2270  
www.rdelta.com  
TBPE No. F-1515

**rdelta**  
ENGINEERS

**PRELIMINARY**  
SUBMITTED FOR REVIEW

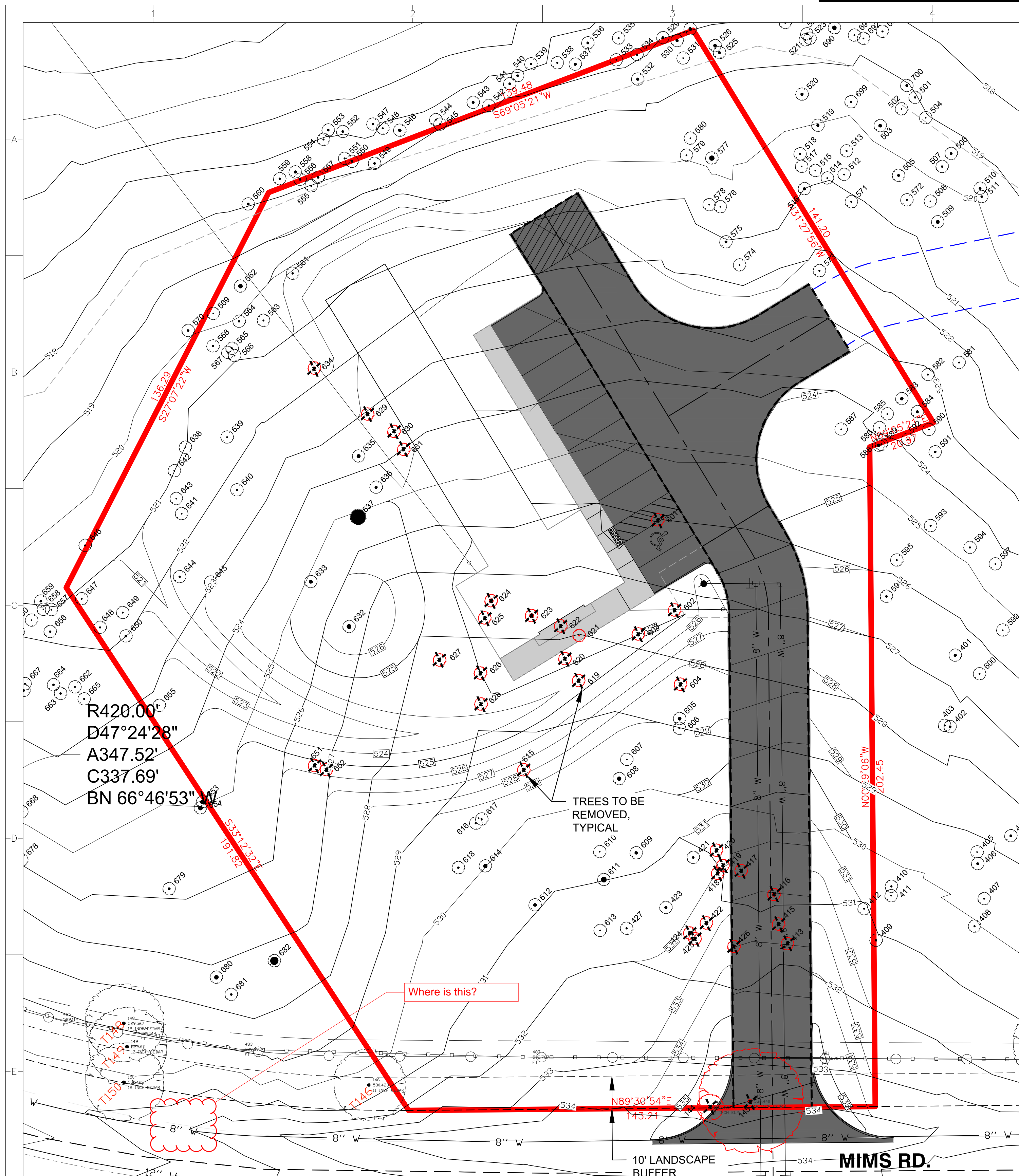
BY: FRANK A. POLMA  
P.E. 80274

R-DELTA ENGINEERS, INC.  
Date: March 14, 2025

NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO. 3036-21	DESIGN BY JMJ
CREATED	CODE
PLOTTED 3/14/2025	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 1
FILENAME:	

**REC CAMPUS EXPANSION**  
**INDOOR SHOOTING RANGE**  
MIMS RD  
ROCKWALL, TX 75032  
CASE# -  
**CITY SITE PLAN SUBMITTAL**



**Site Tree Listing**  
Rayburn Electric Cooperative- Indoor Shooting Range  
March 14, 2025

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches
					Feature	Primary	Non-Protected		
144	4	ELM						Remove	4
145	16	CEDAR						Remove	6
146	11	CEDAR						To Ramman	0
401	10	CEDAR						To Ramman	0
409	7	CEDAR						To Ramman	0
412	5	CEDAR						To Ramman	0
413	6	CEDAR						To Ramman	0
414	4	CEDAR						To Ramman	0
415	5	CEDAR						Remove	0
416	14	CEDAR						Remove	0
417	7	CEDAR						To Ramman	0
418	12	CEDAR						Remove	0
419	7	CEDAR						To Ramman	0
420	7	CEDAR						To Ramman	0
421	8	CEDAR						To Ramman	0
422	10	CEDAR						To Ramman	0
423	10	CEDAR						To Ramman	0
424	6	CEDAR						Remove	0
425	6	CEDAR						Remove	0
426	10	CEDAR						To Ramman	0
427	6.5	CEDAR						To Ramman	0
530	10	CEDAR						To Ramman	0
531	4	QMK						To Ramman	0
532	10	CEDAR						To Ramman	0
533	4	CEDAR						To Ramman	0
534	7	CEDAR						To Ramman	0
549	8	CEDAR						To Ramman	0
550	8	CEDAR						To Ramman	0
555	6	CEDAR						To Ramman	0
556	8	CEDAR						To Ramman	0
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562	15	CEDAR						To Ramman	0
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567	6	CEDAR						To Ramman	0
568	7	CEDAR						To Ramman	0
569	4	CEDAR						To Ramman	0
570	8	CEDAR						To Ramman	0
573	6	CEDAR						To Ramman	0
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604	6.5	CEDAR						Remove	0
605	5	CEDAR						Remove	0
606	4	CEDAR						Remove	0
607	4	CEDAR						To Ramman	0
608	14	CEDAR						To Ramman	0
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614	14	CEDAR						To Ramman	0
615	11	CEDAR						Remove	5.5
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617	5	CEDAR						To Ramman	0
618	7	CEDAR						To Ramman	0
619	12	CEDAR						Remove	6
620	5	CEDAR						Remove	0
621	5	CEDAR						Remove	0
622	5	CEDAR						Remove	0
623	16	CEDAR						Remove	8
624	16	CEDAR						Remove	8
625	5	CEDAR						Remove	0
626	9	CEDAR						Remove	0
627	7	CEDAR						Remove	0
628	7	CEDAR						Remove	0
629	4	CEDAR						Remove	0
629	4	CEDAR						Remove	0
630	5	CEDAR						Remove	0
631	7	CEDAR						Remove	0
634	11	CEDAR						Remove	5.5
651	4	CEDAR						Remove	0
652	4	CEDAR						Remove	0
655	4	ELM						To Ramman	0
TOTAL	991								58.0

**Proposed Tree Removal Listing**  
Rayburn Electric Cooperative- Indoor Shooting Range  
March 14, 2025

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation			Removal Status	Replacement Caliper Inches
					Feature	Primary	Non-Protected		
144	4	ELM						Remove	4
145	16	CEDAR						Remove	6
413	6	CEDAR						Remove	0
415	5	CEDAR						Remove	0
416	14	CEDAR						Remove	0
417	7	CEDAR						Remove	0
418	12	CEDAR						Remove	0
419	7	CEDAR						Remove	0
420	7	CEDAR						Remove	0
422	8	CEDAR						Remove	0
424	6	CEDAR						Remove	0
425	6	CEDAR						Remove	0
426	10	CEDAR						Remove	0
601	7	CEDAR						Remove	0
602	7.5	CEDAR						Remove	0
603	5	CEDAR						Remove	0
604	6.5	CEDAR						Remove	0
615	11	CEDAR						Remove	5.5
619	12	CEDAR						Remove	6
620	5	CEDAR						Remove	0
621	5	CEDAR						Remove	0
622	5	CEDAR						Remove	0
623	16	CEDAR						Remove	8
624	16	CEDAR						Remove	8
625	5	CEDAR						Remove	0
625	5	CEDAR						Remove	0
627	7	CEDAR						Remove	0
628	7	CEDAR						Remove	0
629	4	CEDAR						Remove	0
630	5	CEDAR						Remove	0
631	7	CEDAR						Remove	0
634	11	CEDAR						Remove	5.5
651	4	CEDAR						Remove	0
652	4	CEDAR						Remove	0
TOTAL	210								58.0

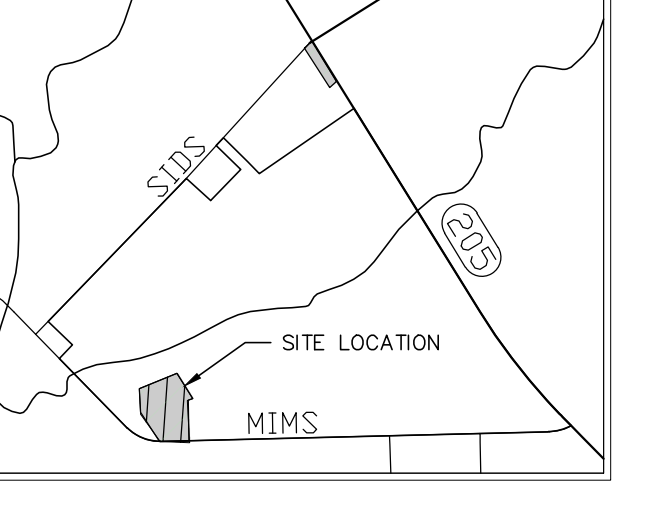
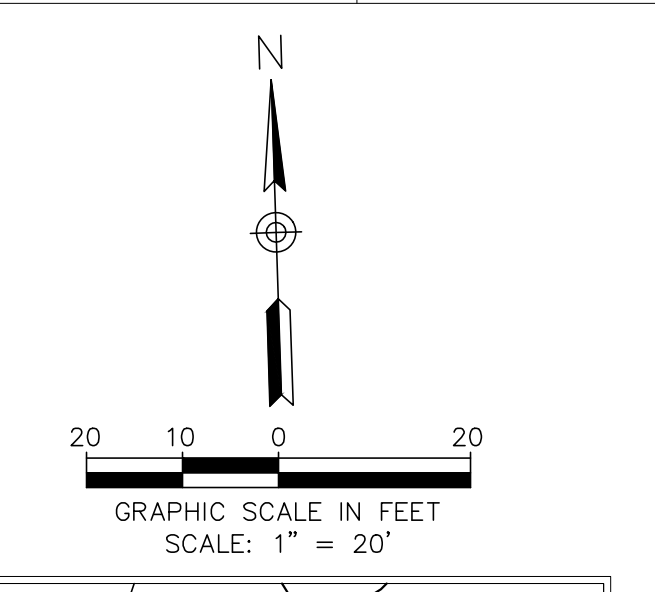
**TREE MITIGATION REQUIREMENTS**  
Site Trees Existing- See Tree Listing

**Site Trees Removed- See Proposed Tree Removal Listing**  
58 Total Caliper inches to be removed that require mitigation

Tree Designation-  
Non-Protected- 0 Caliper Inch required to replace  
Secondary- 1/2" Caliper Inch per 1" Caliper removed required to be replaced  
Primary- 1" Caliper Inch per 1" Caliper removed required to be replaced  
Feature- 2" Caliper Inch per 1" Caliper removed required to be replaced

Calculation-  
Replacement Inches needed 58 , Replace with 4" Caliper Trees  
58/4" = 15 Trees Required

15 CANOPY TREES REQUIRED  
15 CANOPY TREES PROVIDED



**LEGEND**

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

O	03/13/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV BY	P.M.	ENG.	REVISION/RELEASE

**REC**  
**Rayburn Electric**  
COOPERATIVE

618 Main Street  
Garland, TX 75040  
Ph. (972) 494-5031  
Fax (972) 487-2270  
www.rdelta.com  
TBPE No. F-1515

**rdelta**  
ENGINEERS

DUNKIN  
SIMS  
STOFFELS  
INC.

PRELIMINARY  
SUBMITTED FOR REVIEW  
BY: Bob Stoffels

Dunkin Sims Stoffels, Inc.  
Date: March 14, 2025  
NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/13/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:	DRAWING NO.:		ISSUE:
APPROVED:	LP-1		0
FILENAME:			

**REC CAMPUS -  
INDOOR SHOOTING  
LANDSCAPE PLANS**

**TREESCAPE PLAN**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 Sids Road, Rockwall TX 75032

SUBDIVISION REC Campus Addition LOT 3 BLOCK A

GENERAL LOCATION 1,200+/- feet southeast along Mims Rd from the intersection of Sids Rd

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-44

CURRENT USE Commercial - vacant

PROPOSED ZONING PD-44

PROPOSED USE Commercial-Indoor Shooting Range

ACREAGE 1.407

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn Electric Cooperative

APPLICANT R-Delta Engineers, Inc.

CONTACT PERSON David Naylor

CONTACT PERSON Frank A. Polma, P.E.

ADDRESS 950 Sids Rd

ADDRESS 618 Main Street

CITY, STATE & ZIP Rockwall Tx 75032

CITY, STATE & ZIP Garland, Texas 75040

PHONE 469 402 2100

PHONE 972-494-5031

E-MAIL dnaylor@rayburndelectric.com

E-MAIL fapolma@rdelta.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

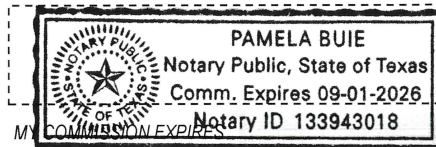
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \$278.14 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF March, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


*[Handwritten Signature]*  
*[Handwritten Signature]*





SP2025-012: Site Plan for an Indoor Commercial Amusement/Recreation Facility



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**SITE INFORMATION:**

EXISTING ZONING: PD-44  
 PROPOSED ZONING: NO CHANGE  
 PROPOSED USE: INDOOR SHOOTING RANGE  
 TOTAL AREA: 61,278 SQ FT 1.407 AC  
**"PD-44" ZONING**  
 MAXIMUM BUILDING HEIGHT: 60 FT  
 MAXIMUM LOT COVERAGE: 60%  
 MAXIMUM FLOOR AREA RATIO: 4:1  
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%  
 PROPOSED MAX. BUILDING HEIGHT: 25'-3"  
 PROPOSED LOT COVERAGE: 14,889/61,278 = 24.30%  
 PROPOSED FLOOR AREA RATIO: 3,202/61,278 = 5.23%  
 PROPOSED IMPERVIOUS PARKING: 11,687/61,278 = 19.07%

**REQUIRED PARKING:**  
 PROPOSED BUILDING 3,202 SQ FT  
 (COMMON AREA-CA=972± SQ FT)  
 (SHOOTING LANES-SL=2,230± SQ FT)  
 (COMMON AREA) 1 PER 200 SQ FT = 5  
 (SHOOTING LANES) 1 PER LANE = 4  
 TOTAL REQUIRED PARKING = 9 SPACES  
 TOTAL PROVIDED PARKING = 10 SPACES

**NOTES:**

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.
- CAMPUS DUMPSTER TO BE UTILIZED FOR REFUSE. LOCAL PLASTIC CARTS TO BE USED FOR COLLECTION INSIDE THE BUILDING. NO OUTDOOR TRASH CANS PROVIDED.
- THERE SHALL BE NO OUTSIDE STORAGE OR ABOVE GROUND STORAGE TANKS.
- PROPOSED DRAINAGE PATTERNS MATCH EXISTING DRAINAGE PATTERNS.

**EXISTING SITE PARKING DATA**

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
0	0	0

**PROPOSED SITE PARKING DATA**

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
9	1	10

**PAVEMENT INFORMATION:**

ALL PAVEMENTS BELOW ARE REINFORCED

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
0	1/02/2025	RDE	FAP	RDE	ISSUED FOR REVIEW

REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE
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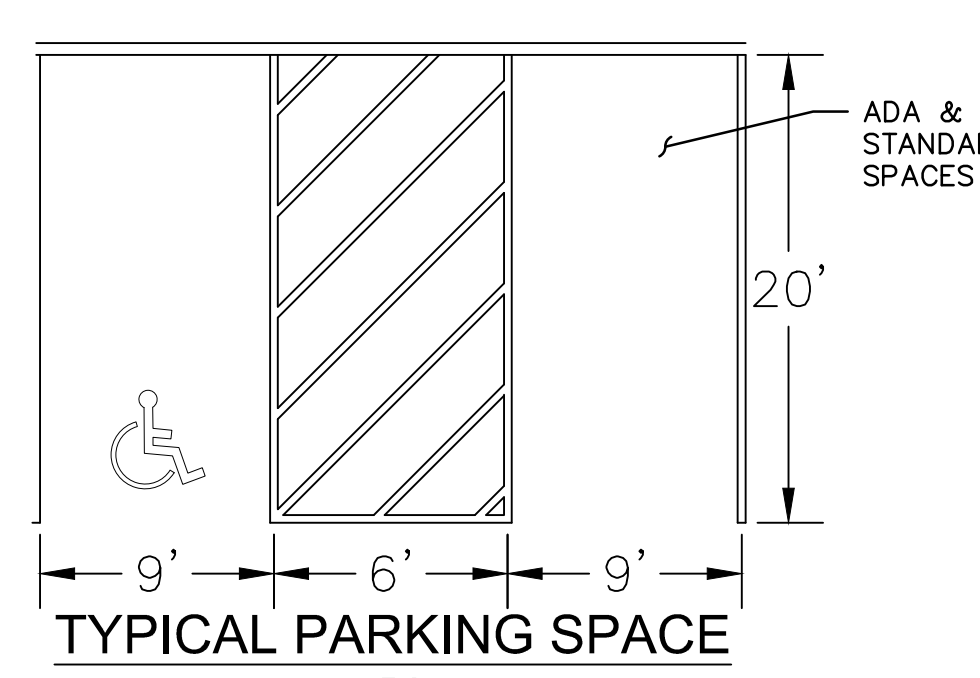
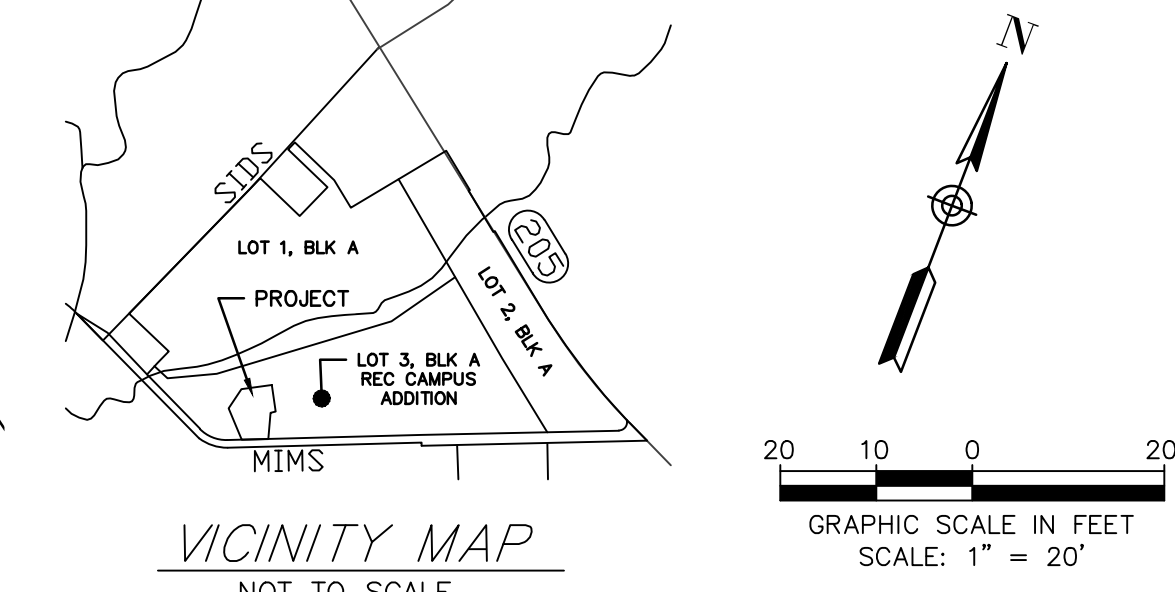
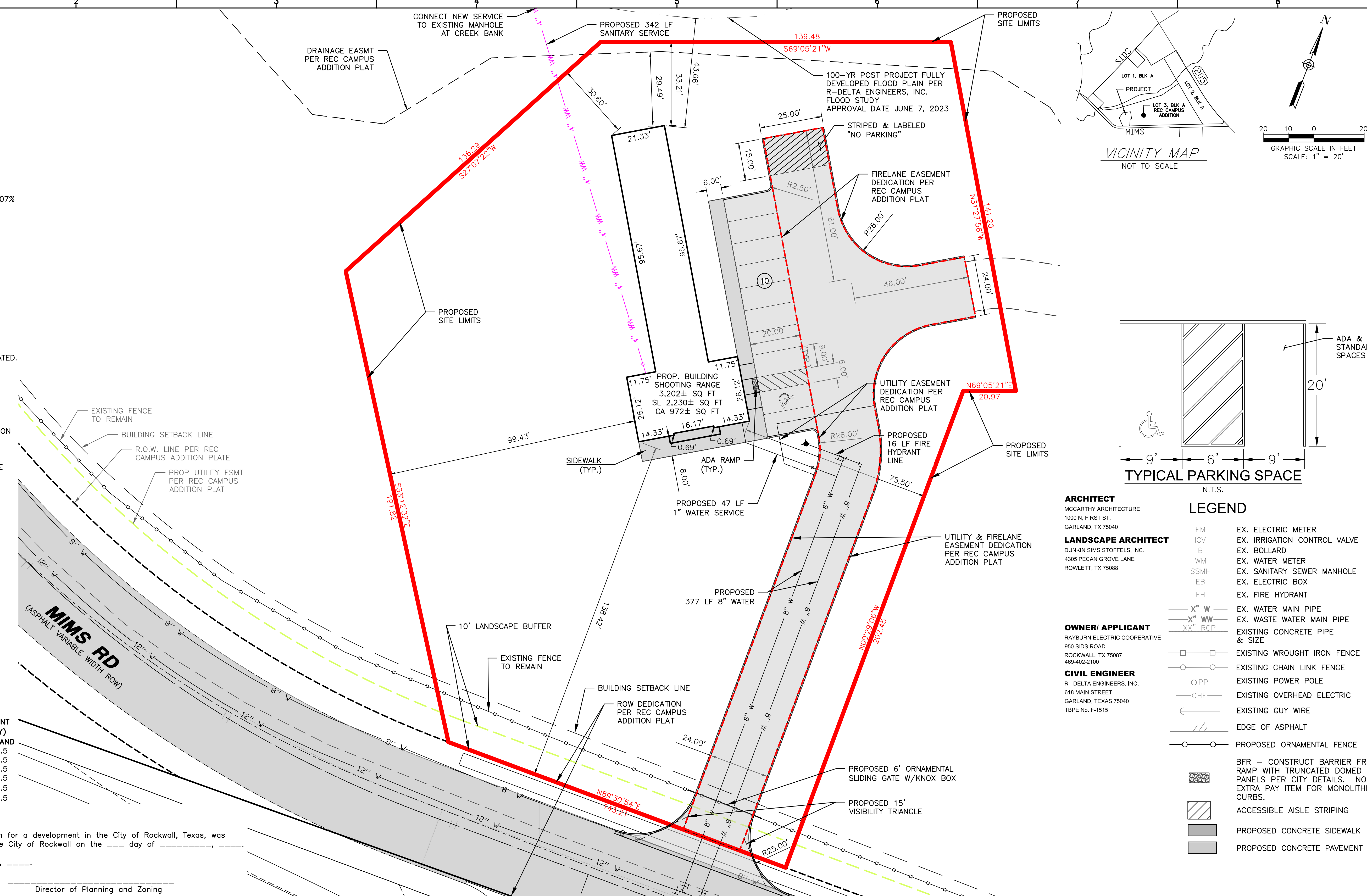
**REC**  
 Rayburn Electric  
 COOPERATIVE  
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 www.rdelta.com  
 TBPE No. F-1515

**rdelta**  
 ENGINEERS

**PRELIMINARY**  
 SUBMITTED FOR REVIEW  
 BY: FRANK A. POLMA  
 P.E. 80274  
 R-Delta Engineers, Inc.  
 Date: March 14, 2025  
 NOT FOR CONSTRUCTION, BIDDING  
 OR PERMITTING PURPOSES

JOB NO. 3036-21      DESIGN BY JMJ  
 CREATED \_\_\_\_\_      CODE \_\_\_\_\_  
 PLOTTED 3/14/2025      CHECKED BY RDE  
 LAST UPDATE BY \_\_\_\_\_  
 DRAWN: RDE      SCALE: AS NOTED  
 CHECKED: \_\_\_\_\_      DRAWING NO.:  
 APPROVED: \_\_\_\_\_      **SP-1**      ISSUE:  
 FILENAME: \_\_\_\_\_      **1**

**REC CAMPUS EXPANSION**  
**INDOOR SHOOTING RANGE**  
 MIMS RD  
 ROCKWALL, TX 75032  
 CASE# \_\_\_\_\_  
**CITY SITE PLAN SUBMITTAL**



**ARCHITECT**  
 MCCARTHY ARCHITECTURE  
 1000 N. FIRST ST.  
 GARLAND, TX 75040

**LANDSCAPE ARCHITECT**  
 DUNKIN SIMS STOFFELS, INC.  
 4305 PECAN GROVE LANE  
 ROWLETT, TX 75088

**OWNER/ APPLICANT**  
 RAYBURN ELECTRIC COOPERATIVE  
 950 SIDS ROAD  
 ROCKWALL, TX 75087  
 469-402-2100

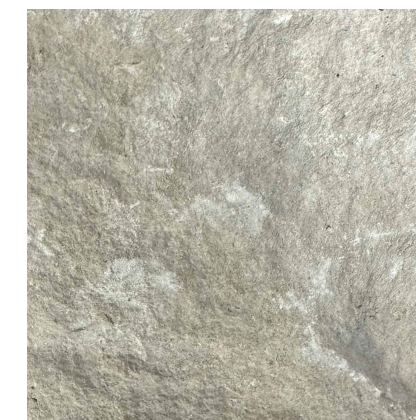
**CIVIL ENGINEER**  
 R - DELTA ENGINEERS, INC.  
 618 MAIN STREET  
 GARLAND, TEXAS 75040  
 TBPE No. F-1515

**LEGEND**

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
—○—	EXISTING WROUGHT IRON FENCE
—○—	EXISTING CHAIN LINK FENCE
—○—	EXISTING POWER POLE
—OHE—	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
—/—	EDGE OF ASPHALT
—○—	PROPOSED ORNAMENTAL FENCE
BFR	CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
—/—	ACCESSIBLE AISLE STRIPING
—	PROPOSED CONCRETE SIDEWALK
—	PROPOSED CONCRETE PAVEMENT



STUCCO -  
SW9111 VELVET  
ANTLER



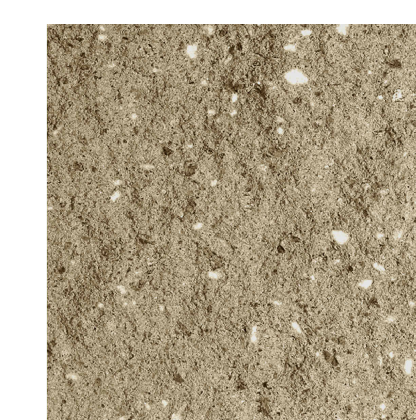
STONE - BUFF  
LUEDERS  
LIMESTONE



DARK BRONZE  
ALUM. FRAME



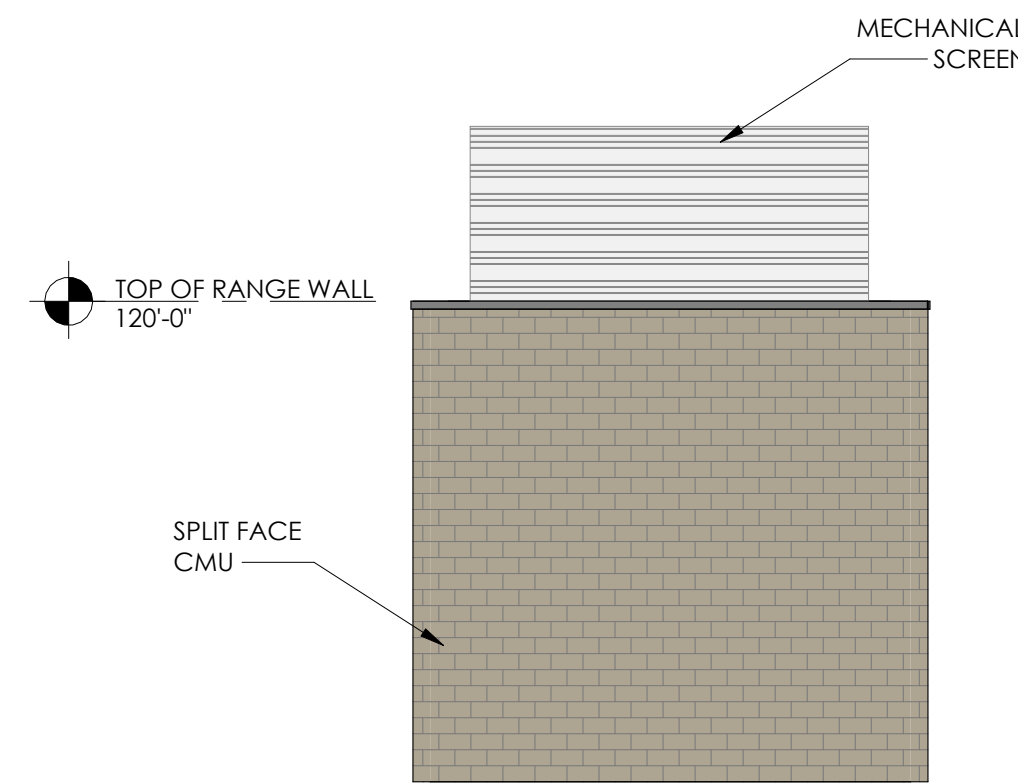
GALVALUME



SPLIT FACE  
CMU - SW9111  
VELVET ANTLER

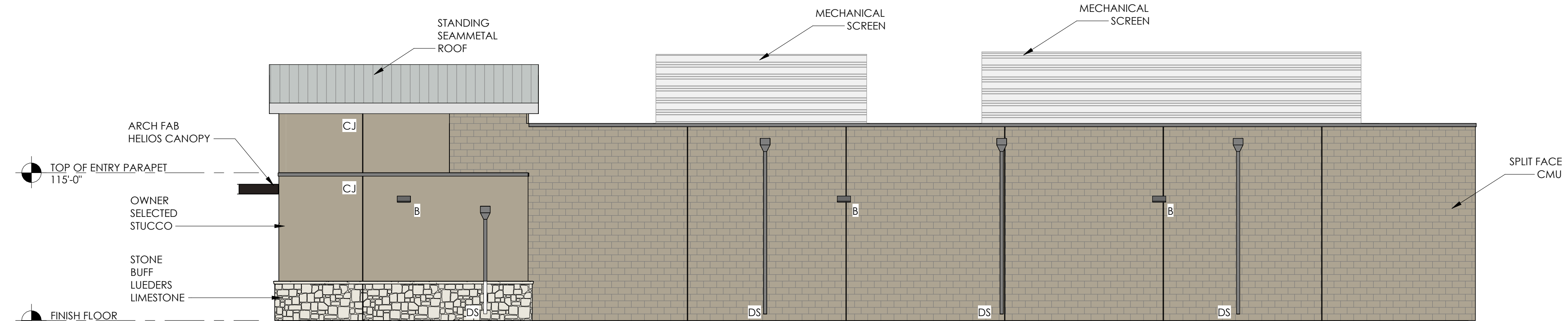
BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS AND ROOF	420 S.F.	100%
Split face CMU - Velvet antler SW 9111	420 S.F.	100%

GENERAL NOTE: ROOF AND MECHANICAL NOT PART OF ELEVATION CALCULATIONS



**4 EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F.	100%
Stucco - Velvet antler SW 9111	375 S.F.	16%
Stone - Buff Lueders limestone	105 S.F.	4%
Split face CMU - Velvet antler SW 9111	1936 S.F.	80%



**3 EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

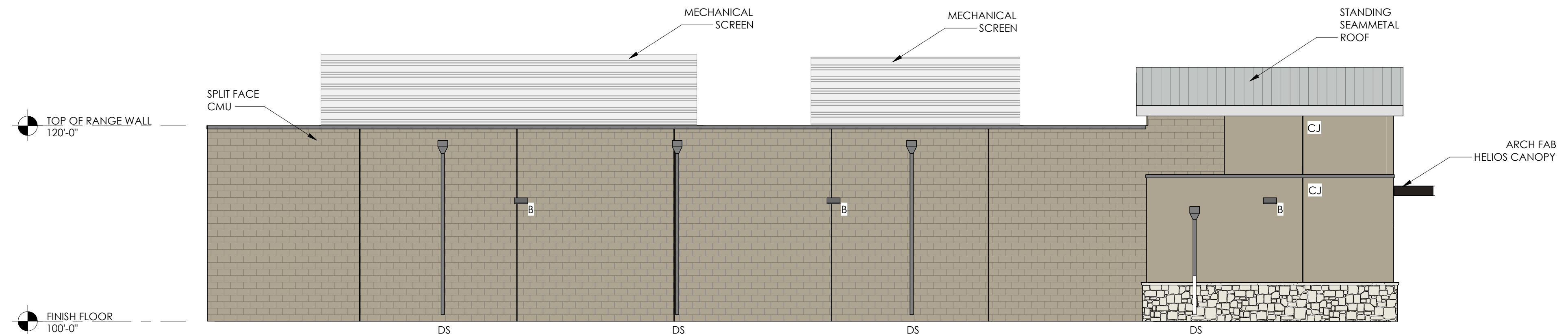
BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS AND ROOF	670 S.F.	100%
Stucco - Velvet antler SW 9111	555 S.F.	83%
Stone - Buff Lueders limestone	115 S.F.	17%



**2 EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

# SHOOTING RANGE

BUILDING MATERIAL CALCULATIONS FOR WALLS		
CATEGORIES	WEST	PERCENT
TOTAL SQ. FT. - EXCLUDING WINDOWS, DOORS AND ROOF	2416 S.F.	100%
Stucco - Velvet antler SW 9111	375 S.F.	16%
Stone - Buff Lueders limestone	105 S.F.	4%
Split face CMU - Velvet antler SW 9111	1936 S.F.	80%



**1 EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

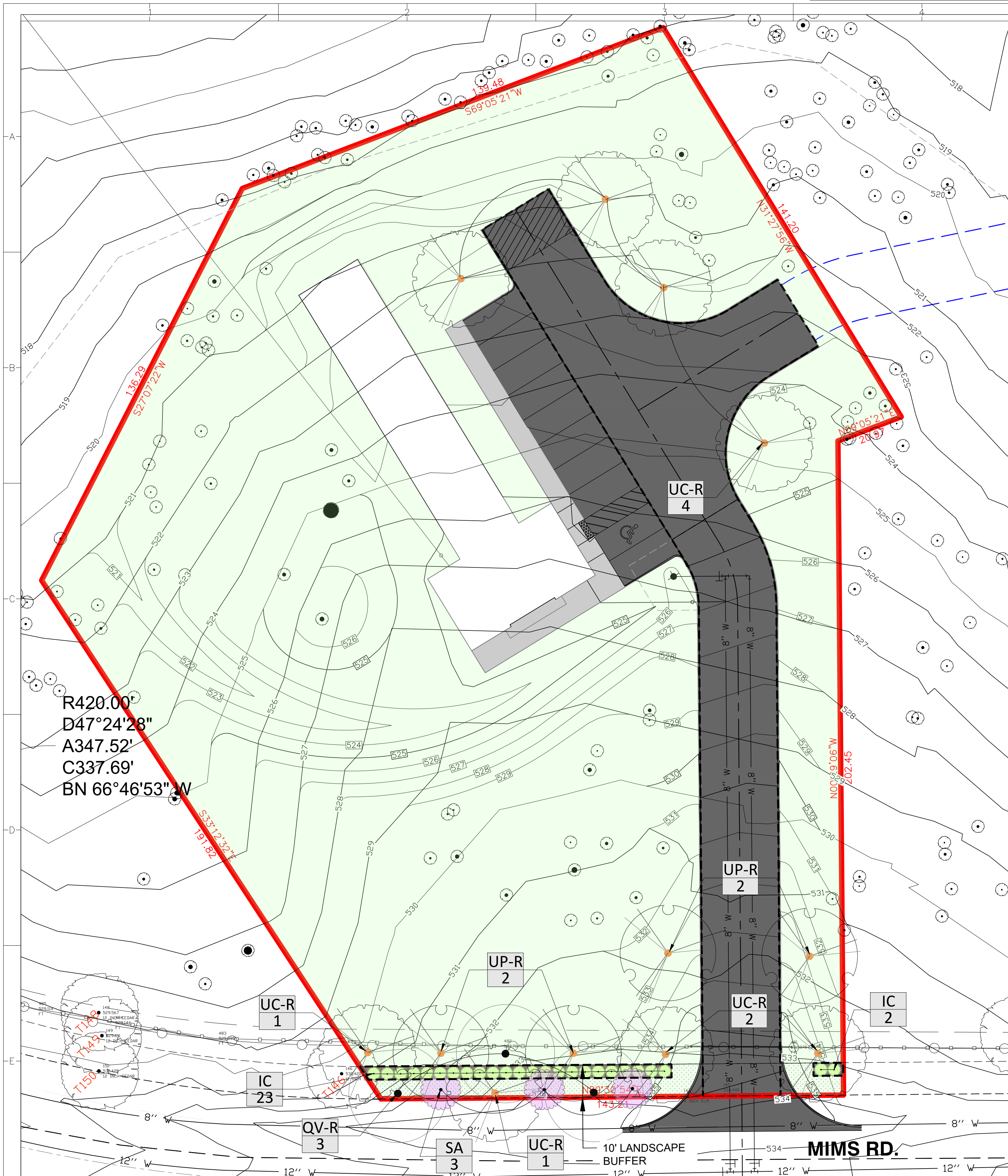
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**Plant Schedule**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	UC	8	Ulmus crassifolia	Cedar Elm	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	UP	4	Ulmus parvifolia	Lacebark Elm	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	QV	3	Quercus virginiana	Live Oak	65 gal.	4" Caliper, Min 12' Ht., 7' Spread
	SA	3	Sophora affinis	Eve's Necklace	45 gal.	3" Caliper, Min 6' Ht., 4' Spread

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	IC	25	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	10 gal.	Cont.	4" O.C., Min. 3' Ht.

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	Ber c11	45,975 s.f.	Tif Tuf Bermuda	Tif Tuf Bermuda Grass	Solid Sod
	Shd mul	425 s.f.		Shredded Hardwood Mulch	--

**NOTES**

- "The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and such activities common to the maintenance of landscaping"
- "Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping"
- "No substitutions for plant materials without approval by the Director"
- "The right-of-way adjacent to required landscape areas shall be maintained by the property owner in the same manner as the required landscape area. All driveways shall maintain site visibility. All plantings intended for erosion control will be maintained. The City may require revegetation to prevent erosion or slippage"
- "All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size"
- "When overhead or underground utilities are present, landscape plan alterations may be considered by the Director"
- "All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors and/or evapotranspiration (ET) weather-based controllers and said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator"
- "All trees are to be equipped with a bubbler irrigation system"
- "Required landscaped open areas and disturbed soil areas shall be completely covered with living plant material"
- "All streetscape furniture (benches, lampposts, trash receptacles, patio furniture, bike racks, etc.) shall be a chip and flake resistant metal, decorative, and generally black "storm cloud" or comparable in color"
- "Excessive pruning of plant materials is prohibited. (e.g. topping crape myrtles, pruning "up" creating a carrot top)"
- "All transformers and mechanical equipment to be screened with evergreen shrubs, to be 2' at time of planting."
- No Tree Planting within 5 feet of water/storm sewer lines.

**LANDSCAPE REQUIREMENTS**

Total Site Area - 61,277 SF = 1.41 Acres

**Site Landscape Area**  
Total Site Landscape Area - 46,400 SF = 76% of Site  
**45,975 SF TURF PROVIDED**  
**425 SF LANDSCAPE PLANTING BED PROVIDED**

**Landscape Buffer Components Street Frontage- Mims Rd.**  
Total (10' Wide) Required Landscape Buffer Area - 1,169 SF  
Total (10' Wide) Provided Landscape Buffer Area - 1,169 SF

**425 SF OF LANDSCAPE BED**  
**744 SF OF TURF PROVIDED**

**Landscape Buffer Trees Street Frontage- Mims Rd.**  
Street Frontage Length - 143 LF  
1 Canopy Tree per 50 LF of Street Frontage (Min. 4" Cal.)  
1 Accent Tree per 50 LF of Street Frontage (6" Ht. Min.)

**3 CANOPY / 3 ACCENT TREES REQUIRED**  
**3 CANOPY / 3 ACCENT TREES PROVIDED**

**Landscape Parking Trees**  
1 Canopy Tree/ 10 parking spaces  
1 Tree within 80' of each parking space

**1 TREE REQUIRED**  
**4 TREES PROVIDED**

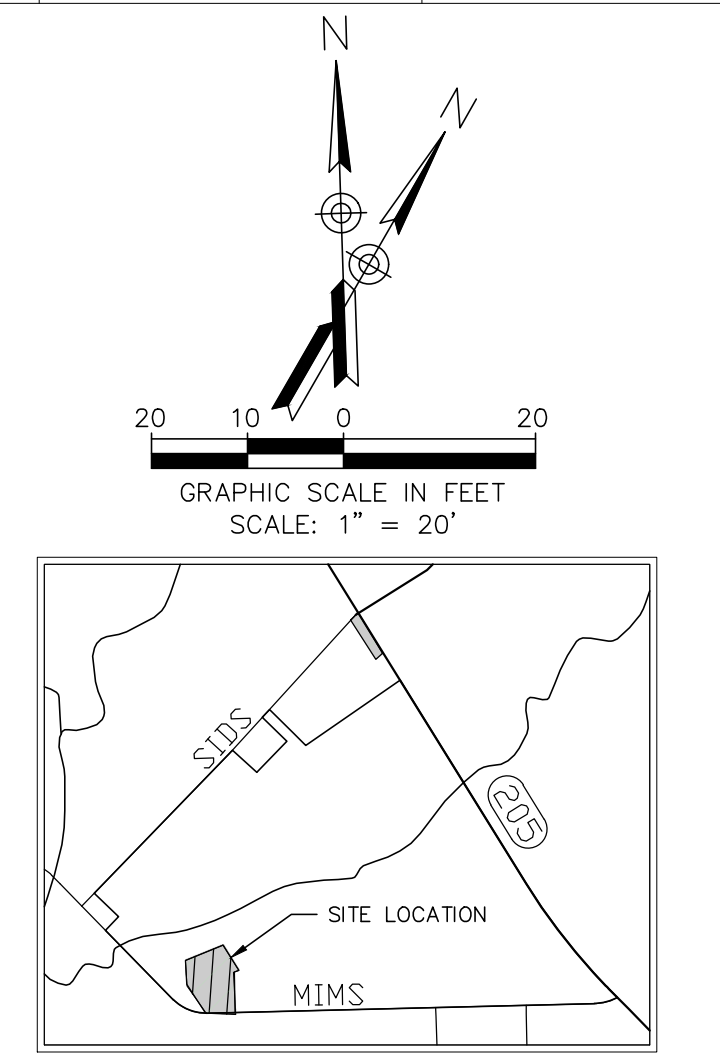
**IRRIGATION:**

An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

**NOTE:**

Landscape Plans shall meet requirements in the Unified Development Code-Article 8 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through the existing tree to facilitate success of newly planted trees.



**LEGEND**

- LO 3 PLANT SYMBOL REF. PLANT SCHEDULE PLANT QUANTITY
- LO-R 3 -R = REPLACEMENT TREE FOR MITIGATION REF. PLANT SCHEDULE PLANT QUANTITY
- EXISTING TREES TO REMAIN
- METAL EDGING @ PLANTING BED BORDER WITH TURF, QUANTITY- 226 L.F.

**TREE MITIGATION REQUIREMENTS**

Site Trees Existing- See Tree Listing- Sheet LP-1

Site Trees Removed- See Proposed Tree Removal Listing- Sheet LP-1  
58 Total Caliper inches to be removed that require mitigation

Tree Designation-  
Non-Protected- 0 Caliper Inch required to replace  
Secondary- 1/2" Caliper Inch per 1" Caliper removed required to replace  
Primary- 1" Caliper Inch per 1" Caliper removed required to replace  
Feature- 2" Caliper Inch per 1" Caliper removed required to replace

Calculation-  
Replacement Inches needed 58, Replace with 4" Caliper Trees  
58/4= 15 Trees Required

**15 CANOPY TREES REQUIRED**  
**15 CANOPY TREES PROVIDED**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

0	03/13/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

**REC**  
Rayburn Electric COOPERATIVE

618 Main Street  
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**rdelta**  
ENGINEERS

**DUNKIN SIMS STOFFELS INC.**

PRELIMINARY  
SUBMITTED FOR REVIEW  
BY: Bob Stoffels

Dunkin Sims Stoffels, Inc.  
Date: March 14, 2025

NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

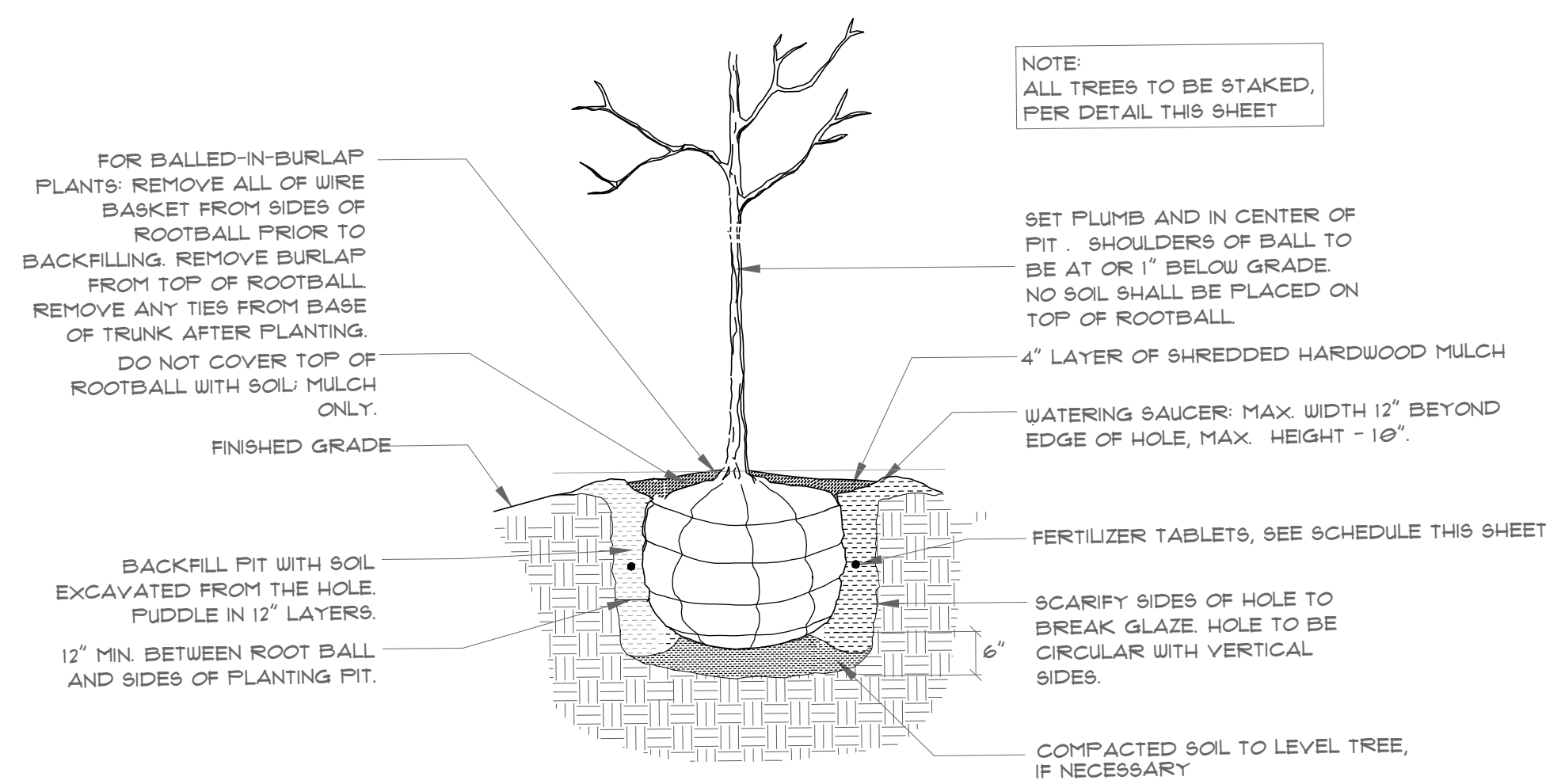
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DRAWN:	MW	SCALE:	AS NOTED
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APPROVED:		ISSUE:	
FILENAME:			

**REC CAMPUS - INDOOR SHOOTING LANDSCAPE PLANS**

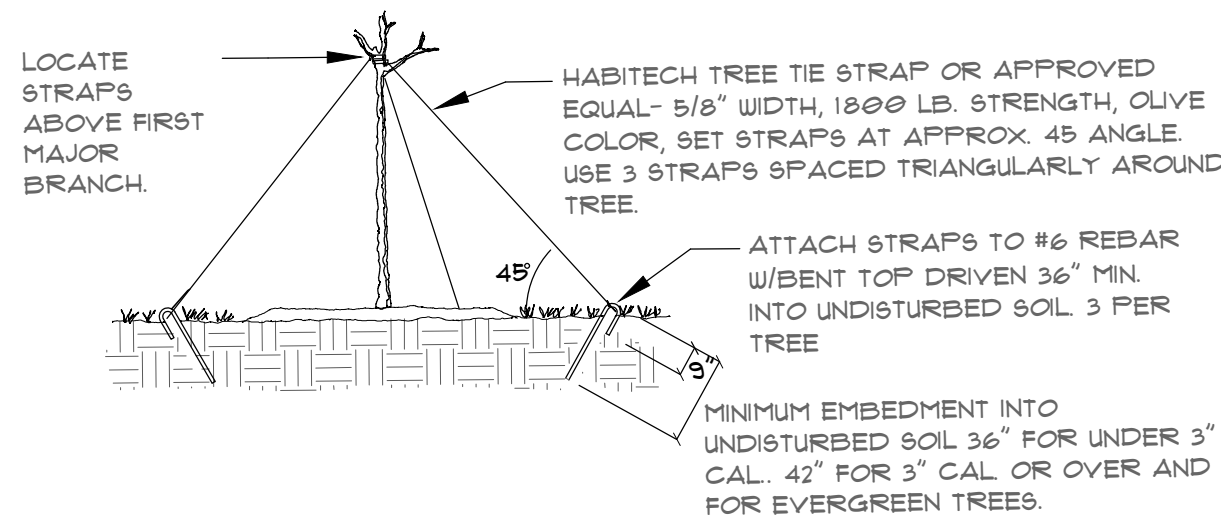
**LANDSCAPE PLAN**

LP-2 0

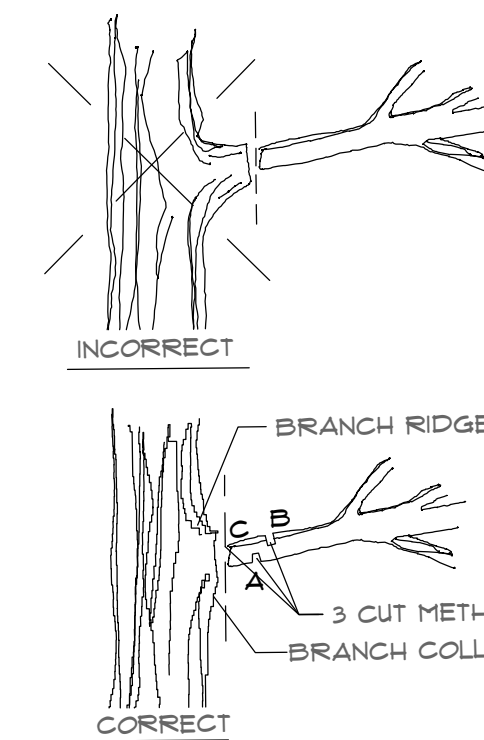




**A** SECTION: TREE PLANTING - B&B, BOX, CONT.  
NTS

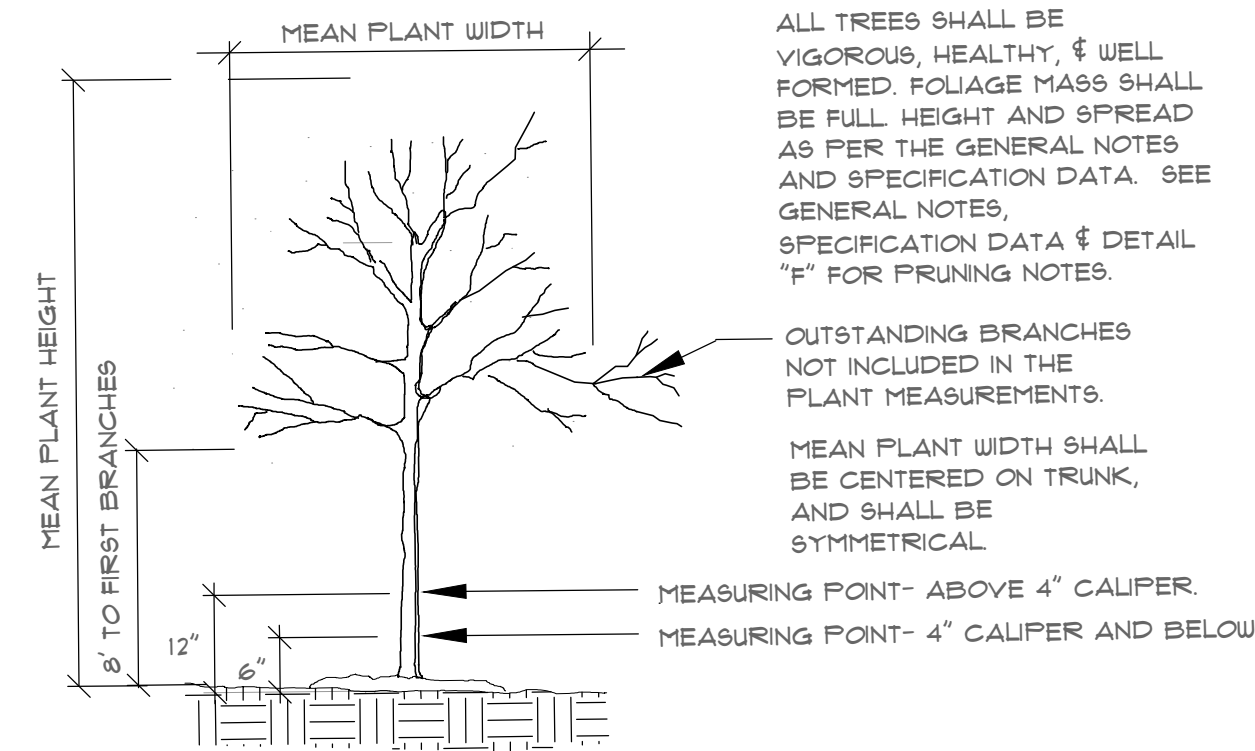


**B** SECTION: TREE GUYING  
NTS



- PRUNING NOTES:**
1. REMOVE ALL BROKEN, DISEASED, OR WEAK BRANCHES.
  2. MAKE ALL CUTS AS CLOSE TO THE BRANCH AS POSSIBLE-LEAVE THE BRANCH COLLAR DO NOT CUT A LEADER.
  3. PRUNE 90 AS TO RETAIN THE NATURAL FORM OF THE TREE.
  4. REMOVE APPROXIMATELY 1/3 OF INTERIOR BRANCHING.
  5. DO NOT TIP PRUNE.
  6. CONTACT LANDSCAPE ARCHITECT PRIOR TO PRUNING FOR FURTHER INSTRUCTIONS.
  7. CUTS OVER 1/2" DIAMETER MADE TO TREES OF THE OAK FAMILY (IE RED OAK, LIVE OAK, BUR OAK, ETC.) FROM FEBRUARY 15 - DECEMBER 15 SHALL BE PAINTED WITH TREE PRUNING PAINT IMMEDIATELY FOLLOWING PRUNING (ONE HOUR MAX.) APPLY SUFFICIENT COATS TO ENSURE SEALING OF THE CUT.
  8. REMOVE LARGE LIMBS BY PERFORMING THE 3-CUT METHOD.

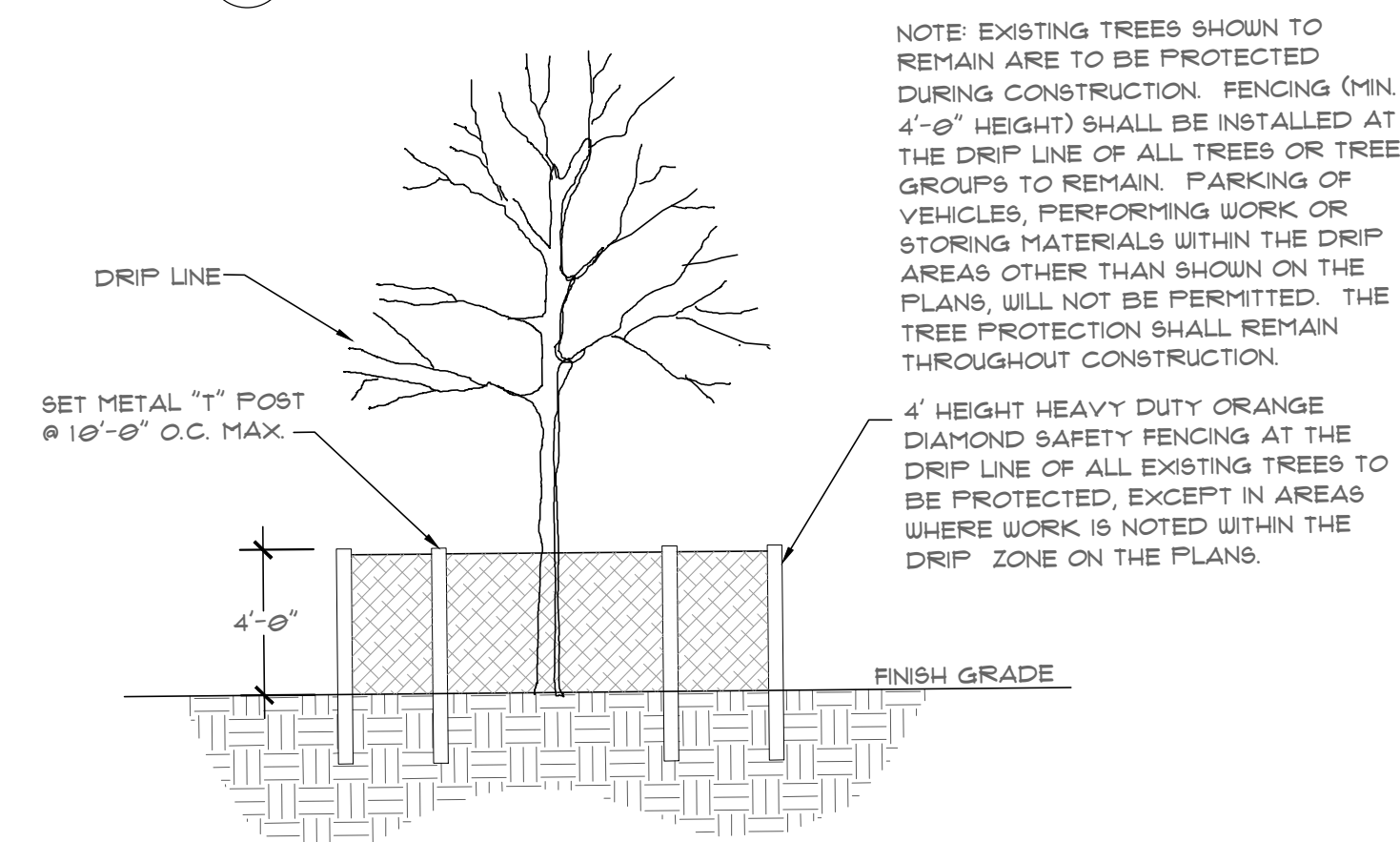
**C** SECTION: TREE PRUNING  
NTS



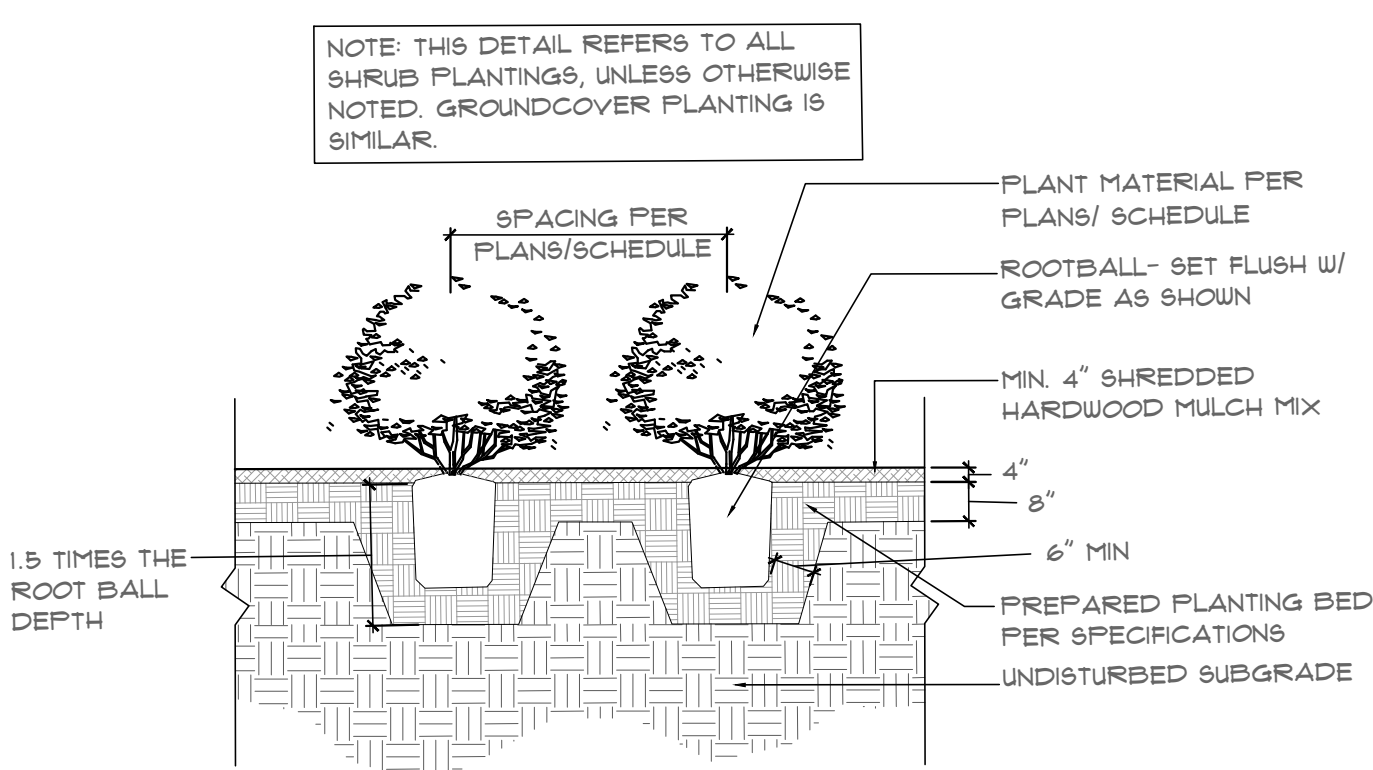
**D** SECTION: TREE MEASURING  
NTS

TREES		SHRUBS AND PERENNIALS:
5-GALLON TREES 2 AGRIFORM* 21 GRAM TABLETS		1-GALLON AND SMALLER 1 AGRIFORM* 21 GRAM TABLET
15-GALLON TREES 3 AGRIFORM* 21 GRAM TABLETS		3 TO 5-GALLON AND B&B MATERIAL WITH SPREADS TO THREE (3) FT. 2 AGRIFORM* 21 GRAM TABLETS
30-GALLON AND ALL B&B MATERIAL 1 AGRIFORM* 21 GRAM TABLET PER CALIPER EACH ONE-HALF (1/2) INCH OF CALIPER		15-GALLON AND B&B MATERIAL WITH SPREADS GREATER THAN THREE (3) FT. 3 AGRIFORM* 21 GRAM TABLETS
SPACE TABLETS EVENLY AROUND ROOT BALL APPROX. 8" BELOW GRADE. PLACE NEXT TO BALL		PLACE TABLETS AT A DEPTH APPROX 1/3 BALL DEPTH AND NEXT TO BALL
* OR APPROVED EQUAL		* OR APPROVED EQUAL

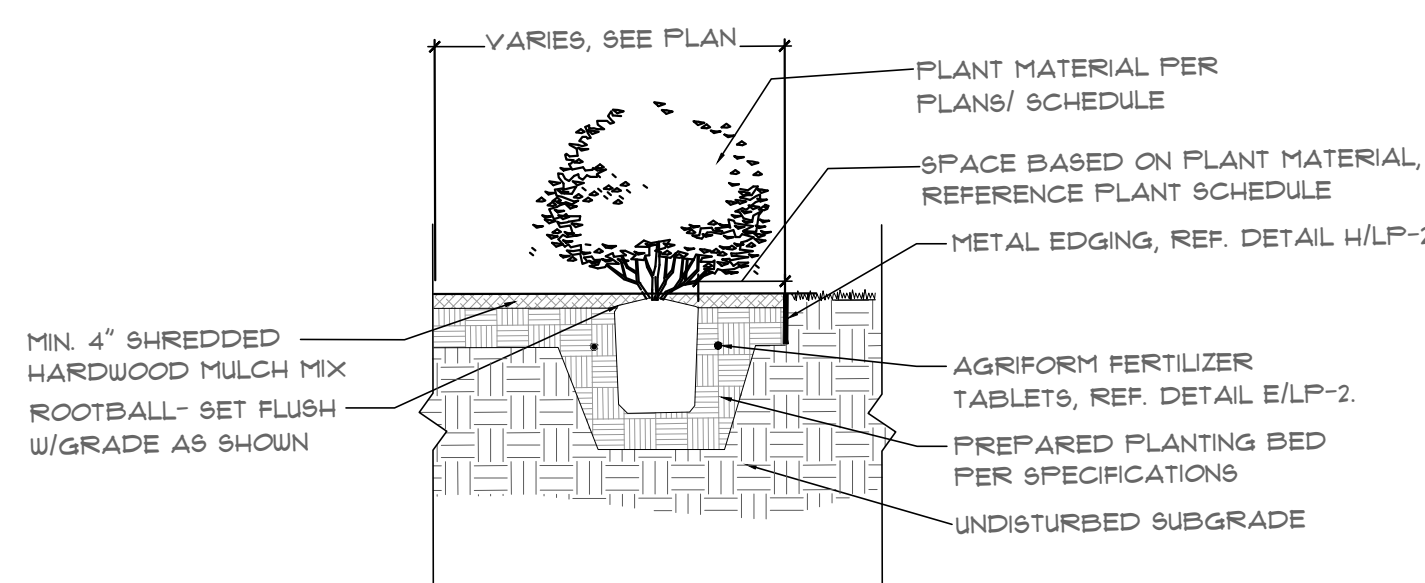
**E** CHART: FERTILIZER SCHEDULE  
NTS



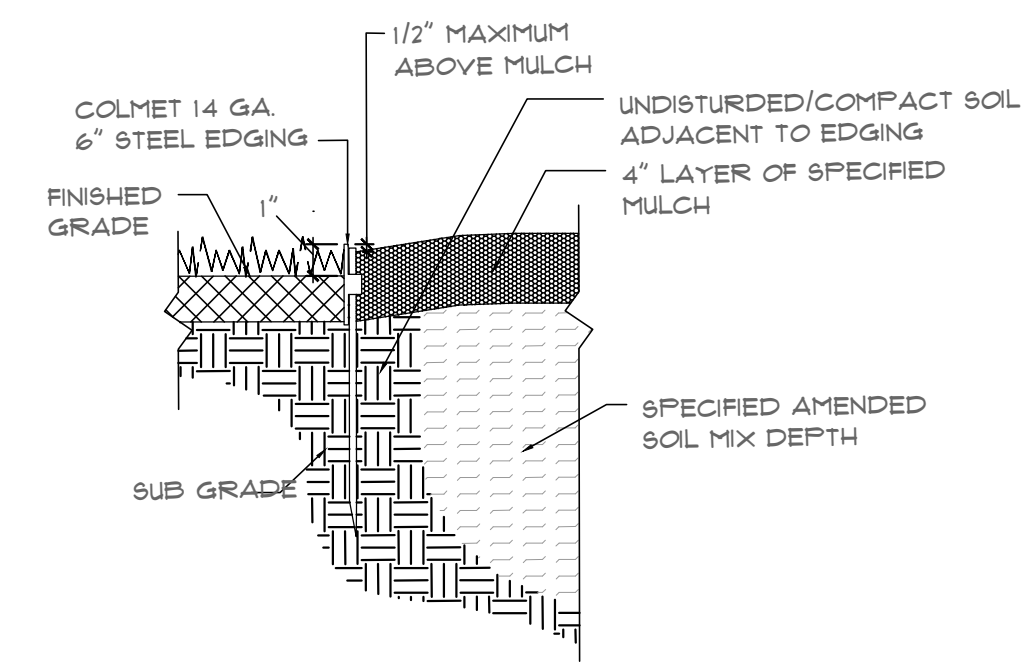
**C** SECTION: TREE PROTECTION  
NTS



**F** DETAIL: LANDSCAPE BED W/ MULCH  
NOT TO SCALE



**G** SECTION: LANDSCAPE BED W/ MULCH AND METAL EDGING  
NOT TO SCALE



**H** SECTION: METAL EDGING  
NOT TO SCALE

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

0	03/12/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

**REC**  
Rayburn Electric  
COOPERATIVE

618 Main Street  
Garland, TX 75040  
Ph. (972) 494-5031  
Fax (972) 487-2270  
www.rdelta.com  
TBPE No. F-1515

**rdelta**  
ENGINEERS

PRELIMINARY  
SUBMITTED FOR REVIEW  
BY: \_\_\_Bob Stoffels\_\_\_

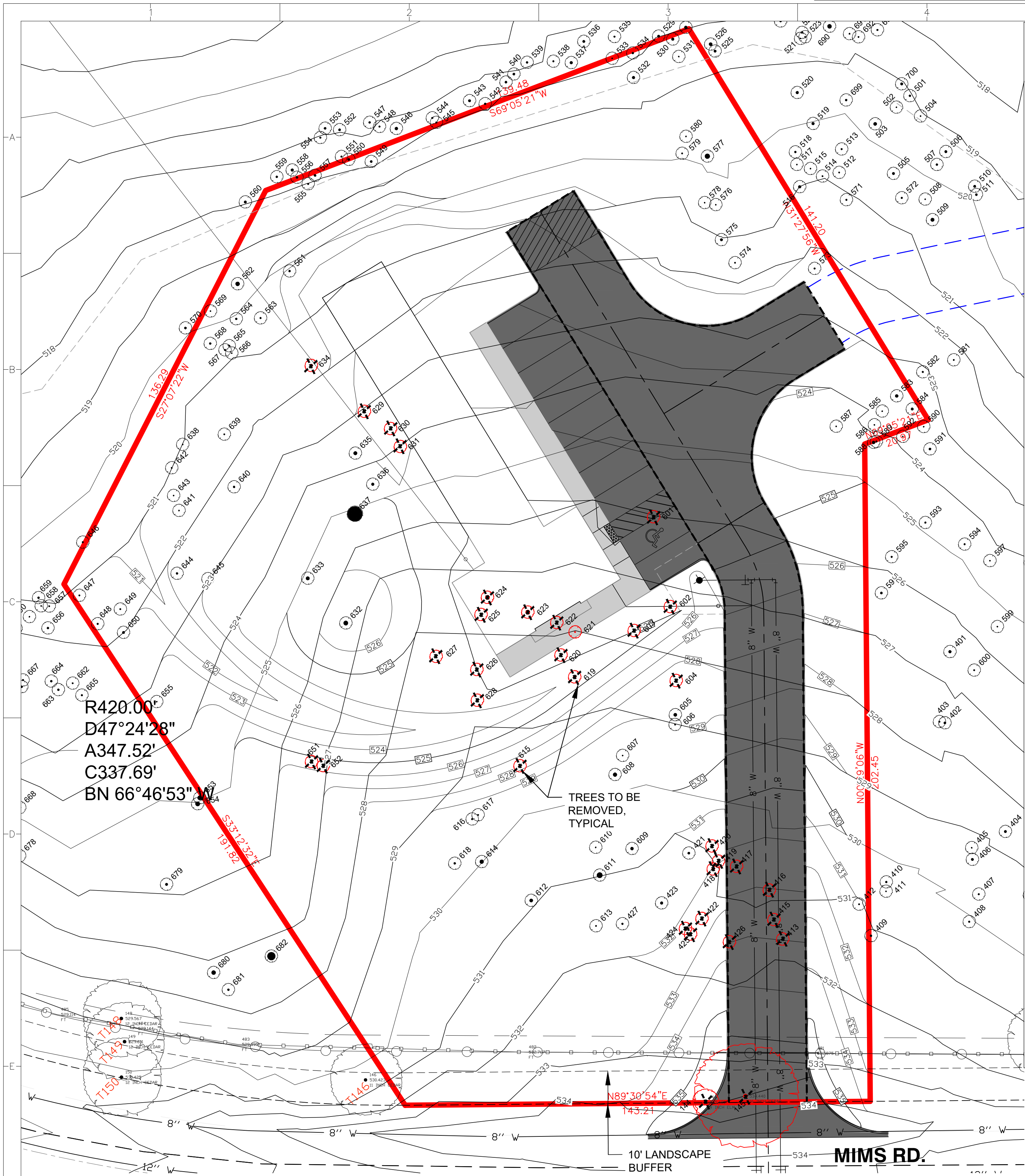
Dunkin Sims Stoffels, Inc.  
Date: March 14, 2025

NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/12/2025	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	LP-3
APPROVED:		ISSUE:	0
FILENAME:			

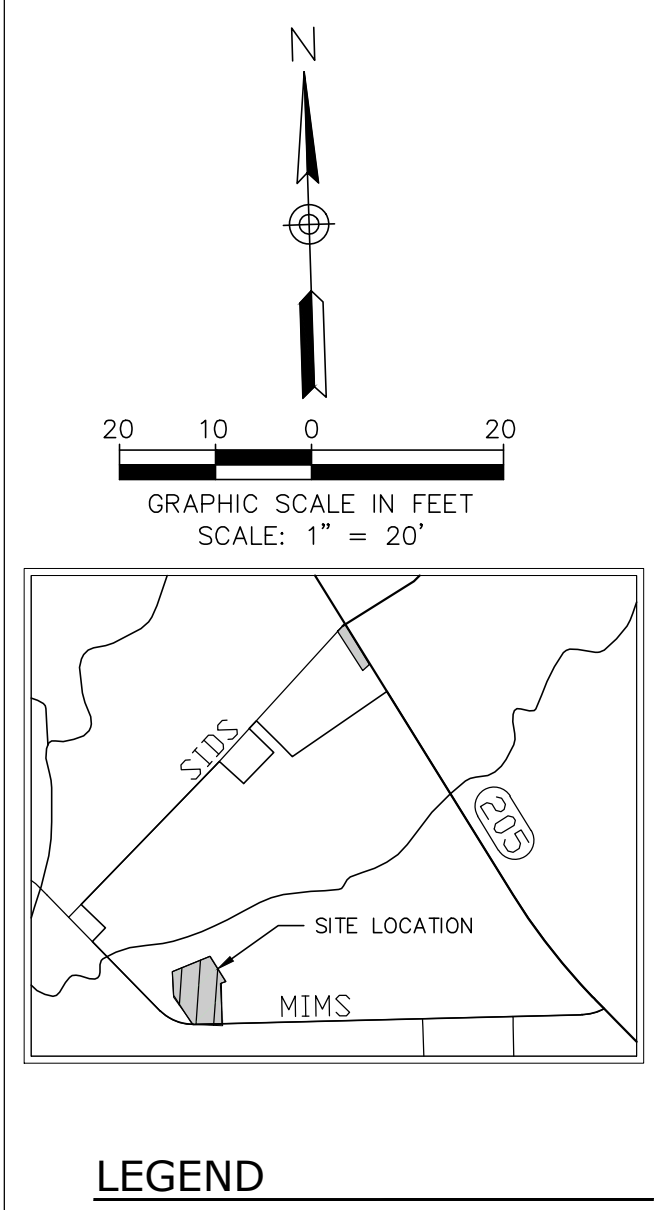
**REC CAMPUS-INDOOR SHOOTING LANDSCAPE PLANS**

**LANDSCAPE DETAILS**



Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches
					Primary	Secondary	Non-Protected
144	4		ELM		x		4
145	16		CEDAR				8
146	11		CEDAR		x	To Retain	0
401	10		CEDAR		x	To Retain	0
409	7		CEDAR		x	To Retain	0
412	5		CEDAR		x	To Retain	0
413	6		CEDAR		x	To Retain	0
414	4		CEDAR		x	To Retain	0
415	5		CEDAR		x	To Retain	0
416	14		CEDAR		x	To Retain	0
417	7		CEDAR		x	To Retain	0
418	12		CEDAR		x	To Retain	0
419	7		CEDAR		x	To Retain	0
420	7		CEDAR		x	To Retain	0
421	8		CEDAR		x	To Retain	0
422	10		CEDAR		x	To Retain	0
423	10		CEDAR		x	To Retain	0
424	6		CEDAR		x	To Retain	0
425	6		CEDAR		x	To Retain	0
426	10		CEDAR		x	To Retain	0
427	6.5		CEDAR		x	To Retain	0
530	10		CEDAR		x	To Retain	0
531	4		QMK		x	To Retain	0
532	10		CEDAR		x	To Retain	0
533	4		CEDAR		x	To Retain	0
534	7		CEDAR		x	To Retain	0
549	8		CEDAR		x	To Retain	0
550	8		CEDAR		x	To Retain	0
555	6		CEDAR		x	To Retain	0
556	8		CEDAR		x	To Retain	0
557	8		CEDAR		x	To Retain	0
559	9		CEDAR		x	To Retain	0
561	7		CEDAR		x	To Retain	0
562	15		CEDAR		x	To Retain	0
563	7		CEDAR		x	To Retain	0
564	7		CEDAR		x	To Retain	0
565	6		CEDAR		x	To Retain	0
566	4		CEDAR		x	To Retain	0
567	6		CEDAR		x	To Retain	0
568	7		CEDAR		x	To Retain	0
569	4		CEDAR		x	To Retain	0
570	8		CEDAR		x	To Retain	0
573	6		CEDAR		x	To Retain	0
574	5		CEDAR		x	To Retain	0
575	9		CEDAR		x	To Retain	0
576	4		CEDAR		x	To Retain	0
577	18		CEDAR		x	To Retain	0
578	4		CEDAR		x	To Retain	0
579	5		CEDAR		x	To Retain	0
580	4		CEDAR		x	To Retain	0
583	11		CEDAR		x	To Retain	0
584	9		CEDAR		x	To Retain	0
585	4		CEDAR		x	To Retain	0
586	4		CEDAR		x	To Retain	0
587	4		CEDAR		x	To Retain	0
588	11		CEDAR		x	To Retain	0
589	6		CEDAR		x	To Retain	0
601	7		CEDAR		x	To Retain	0
602	7.5		CEDAR		x	To Retain	0
603	5		CEDAR		x	To Retain	0
604	6.5		CEDAR		x	To Retain	0
607	4		CEDAR		x	To Retain	0
608	14		CEDAR		x	To Retain	0
609	11		CEDAR		x	To Retain	0
610	4		CEDAR		x	To Retain	0
611	20		CEDAR		x	To Retain	0
612	14		CEDAR		x	To Retain	0
613	5		CEDAR		x	To Retain	0
614	14		CEDAR		x	To Retain	0
615	11		CEDAR		x	To Retain	5.5
616	6		CEDAR		x	To Retain	0
617	5		CEDAR		x	To Retain	0
618	7		CEDAR		x	To Retain	0
619	12		CEDAR		x	To Retain	6
620	5		CEDAR		x	To Retain	0
621	5		CEDAR		x	To Retain	0
622	5		CEDAR		x	To Retain	0
623	16		CEDAR		x	To Retain	8
624	16		CEDAR		x	To Retain	8
625	5		CEDAR		x	To Retain	0
626	9		CEDAR		x	To Retain	0
627	7		CEDAR		x	To Retain	0
628	7		CEDAR		x	To Retain	0
629	4		CEDAR		x	To Retain	0
629	4		CEDAR		x	To Retain	0
630	5		CEDAR		x	To Retain	0
631	7		CEDAR		x	To Retain	0
634	11		CEDAR		x	To Retain	5.5
651	4		CEDAR		x	To Retain	0
652	4		CEDAR		x	To Retain	0
TOTAL	981				x	To Retain	58.0

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches
					Primary	Secondary	Non-Protected
144	4		ELM		x	Remove	4
145	16		CEDAR			Remove	8
413	6		CEDAR		x	Remove	0
415	5		CEDAR		x	Remove	0
416	14		CEDAR		x	Remove	7
417	7		CEDAR		x	Remove	0
418	12		CEDAR		x	Remove	6
419	7		CEDAR		x	Remove	0
420	7		CEDAR		x	Remove	0
422	8		CEDAR		x	Remove	0
424	6		CEDAR		x	Remove	0
425	6		CEDAR		x	Remove	0
426	10		CEDAR		x	Remove	0
601	7		CEDAR		x	Remove	0
602	7.5		CEDAR		x	Remove	0
603	5		CEDAR		x	Remove	0
604	6.5		CEDAR		x	Remove	0
615	11		CEDAR		x	Remove	5.5
619	12		CEDAR		x	Remove	6
620	5		CEDAR		x	Remove	0
621	5		CEDAR		x	Remove	0
622	5		CEDAR		x	Remove	0
623	16		CEDAR		x	Remove	8
624	16		CEDAR		x	Remove	8
625	5		CEDAR		x	Remove	0
626	9		CEDAR		x	Remove	0
627	7		CEDAR		x	Remove	0
628	7		CEDAR		x	Remove	0
629	4		CEDAR		x	Remove	0
630	5		CEDAR		x	Remove	0
631	7		CEDAR		x	Remove	0
634	11		CEDAR		x	Remove	5.5
651	4		CEDAR		x	Remove	0
652	4		CEDAR		x	Remove	0
TOTAL	270				x	Remove	58.0



**TREE MITIGATION REQUIREMENTS**  
**Site Trees Existing- See Tree Listing**  
**Site Trees Removed- See Proposed Tree Removal Listing**  
**58 Total Caliper inches to be removed that require mitigation**

Tree Designation-  
 Non-Protected- 0 Caliper Inch required to replace  
 Secondary- 1/2" Caliper Inch per 1" Caliper removed required to be replaced  
 Primary- 1" Caliper Inch per 1" Caliper removed required to be replaced  
 Feature- 2" Caliper Inch per 1" Caliper removed required to be replaced

Calculation-  
 Replacement Inches needed 58 , Replace with 4" Caliper Trees  
 58/4= 15 Trees Required

**15 CANOPY TREES REQUIRED**  
**15 CANOPY TREES PROVIDED**

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

0	03/13/2025	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV. BY	P.M.	ENG.	REVISION/RELEASE

REC  
Rayburn Electric  
COOPERATIVE

rdelta  
ENGINEERS

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TBPE No. F-1515

**PRELIMINARY**  
 SUBMITTED FOR REVIEW  
 BY: \_\_\_Bob Stoffels\_\_\_

Dunkin Sims Stoffels, Inc.  
 Date: March 14, 2025

NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	3/13/2025	CHECKED BY	BS
LAST UPDATE BY _____			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:			

**REC CAMPUS -  
 INDOOR SHOOTING  
 LANDSCAPE PLANS**

**TREESCAPE PLAN**

LP-1 0



**PARKING**  
Illuminance (Fc)  
Average = 2.42  
Maximum = 3.7  
Minimum = 1.2  
Avg./Min Ratio = 3.08  
Max./Min Ratio = 3.08

**DRIVEWAY**  
Illuminance (Fc)  
Average = 2.15  
Maximum = 4.2  
Minimum = 0.1  
Avg./Min Ratio = 21.50  
Max./Min Ratio = 42.00

# 1 Photometric Plan

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE-Planar	0	Fc	0.49	4.2	0.0	N.A.
DRIVEWAY		Fc	2.15	4.2	0.1	21.50
PARKING		Fc	2.42	3.7	1.2	2.02

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor
□	P1	4	LITHONIA RSX1 LED P3 40K R3 MVOLT [MOUNT] DDBXD DM19AS @ 25' MH	14022	109.44	1.000
						Light Lost Factor
						0.850
						User Defined Factor
						1.000